

**Quinquennial Inspection Report  
Church of St Cuthbert, Redhouse, Sunderland  
North Wearside Parish  
Diocese of Durham**



Report prepared by

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10 June 2026

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## **1.0 BACKGROUND**

- 1.1 Church of St Cuthbert, Redhouse  
North Wearside Parish  
Rotherham Road  
Sunderland  
SR5 5QS
- 1.2 Client: The Parochial Church Council of the Church of St Cuthbert, Redhouse  
North Wearside Parish  
Rotherham Road  
Sunderland  
SR5 5QS
- 1.3 Report prepared by David Jowett - Architect, BA, DipArch, RIBA  
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email: [david@davidjowett-architect.co.uk](mailto:david@davidjowett-architect.co.uk)
- 1.4 Date of Inspection 6 May 2026 at 11:00 am
- 1.5 Weather conditions - cloudy and dry, temperature 10 degrees.
- 1.6 Previous Report 5 May 2021 by David Jowett - Architect.

## 2.0 EXECUTIVE SUMMARY

- 2.1 Generally the church is kept in excellent condition, and there are no major defects to report. Therefore, the following observations and suggestions are to ensure that the church will continue to be maintained proactively.

There is a long-term issue with the concrete roof structure that is spalling at the eaves in several easily visible locations. This requires, at least, preliminary consideration in the form of a specialist inspection to report on the overall condition and to set out a way forward for remedial works. The spalling concrete is similar to that occurring on the Gateshead flyover, now to be demolished, and the Newcastle central motorway, undergoing extensive repairs. It would be better to catch the issues with the church roof earlier to avoid the first demolition scenario and to lessen the impact of the second scenario.

There are some minor repairs necessary to make the north elevation gutter watertight and to prevent pigeons from entering the organ loft, which need attending to immediately.

Some small areas of the lime mortar need to be repointed, as these appear to be causing some minor water ingress.

The exterior needs decorating.

The tower requires an inspection by a steeplejack, to look especially at the concrete capping and secondly the horizontal crack to the north elevation, as well as reporting on its overall condition.

The WCs need upgrading; a conversation with Revd Rupert Kalus at St Andrews Leam Lane may be useful, as he has been very successful in obtaining grant money for similar works.

The Log Book is basic, and a chat for some exemplary guidance from Holy Trinity, Southwick, as to how better to keep this, would be advisable. There are some basic maintenance procedures being missed, such as gas safety inspections, emergency lighting testing and lightning-conductor testing.

The building lends itself well to possible net-zero solutions such as double or triple glazing, roof insulation and solar panels. A long-term plan should be considered for these, along with what to do with the heating system, before any future problems occur.

All considered, a small team of hardworking people are contributing to the upkeep of this church and its mission. They should be congratulated for their efforts.

## 3.0 PREVIOUS REPORT

The previous Report followed the inspection on 5 May 2021 by David Jowett - Architect, 25 Roseworth Avenue, Gosforth, Newcastle upon Tyne, NE3 1NB.

The report identified the following maintenance items, and these are noted as either completed or outstanding:

### **Repair Needs, Category A; Urgent, requiring immediate attention**

Attend to leaking section of gutter and rainwater pipe. **Completed**

Unblock all gullies and repair waste pipes. **Completed**

Remove weeds for flags and paving. Consider using vinegar or mechanical means before weed killer. **Completed**

Electrical system must be tested immediately and then every five years and a copy of the test certificate kept with the Log Book. **Completed**

Arrange Lightening Conductor Test and thereafter every five years in accordance with the current British Standard by a competent engineer. The record of the test results and conditions should be kept with the Church Log Book. **Outstanding**

**Category B; Requires attention within the next twelve months**

Undertake full inspection of felted roofs and flashings by reputable roofing company and implement recommendations. **Completed**

Redecorate rainwater goods. **Outstanding**

Replace rotten sections of timber verge and eaves to Hall and decorate all fascia and verge boards to Hall and Hall Lobby link. **Outstanding**

Decorate timber panelling to Hall. **Completed**

Replace windows to Hall Store and Kitchen and Boiler House Door. **Completed**

Repair all broken gullies and replace missing concrete haunching. **Outstanding**

Level North Porch mat well. **Completed**

Replace Boiler Room access ladder handrail and clear rubbish. **Completed 0**

Supply Organ Tuners Book if none already available. **Completed**

Replace missing fence panel. **Completed**

**Category C; Requires attention within the next 2 years**

Obtain bell hangers report and advice on routine maintenance. **Outstanding**

Arrange inspection of tower over full height with report. **Outstanding**

Repair rainwater goods as outlined above section 9.2 and check pointing externally. Once brickwork has dried out approx 12 months, brush down brickwork to remove salts. **Outstanding**

Inspect west window glazing by specialist and make watertight. **Outstanding**

Refit accessible WC including Baby Change Unit. **Outstanding**

Refit WC including Baby Change unit. **Outstanding**

Replace missing skirting to Church Kitchen. **Completed**

**Repair Needs, Category D; Requires attention within the next 5 years**

Repair all sections of spalling concrete eaves to church and ancillary south roofs and redecorate eaves. Note the repair method for the concrete needs to be carefully specified. **Outstanding**

Cut out badly spalled bricks, ie., more than 30% loss of surface depth, and replace with new bricks to match existing. **Outstanding**

Decorate all concrete surrounds to windows and all timber doors and frames. **Outstanding**

Refinish woodblock flooring to Church. **Outstanding**

Refinish woodblock flooring to North Porch. **Outstanding**

Decorate external doors to North Porch. **Completed**

Refinish woodblock flooring to South Lobby. **Outstanding**

Refinish woodblock flooring to Choir Vestry/Meeting Room. £750.00 **Outstanding**

**Category E; a desirable improvement with no timescale**

Consider re-roofing main church roof with insulation. **Outstanding**

Replace broken creasing tiles to base of sanctuary brickwork below window north and south elevations. **Outstanding**

Consider replacing all windows with double-glazed units. **Completed**

Fit wall-mounted water boiler to Church Kitchen. **Outstanding**

Fit wall-mounted water boiler to Hall Kitchen. **Outstanding**

Consider moving noticeboard nearer to pavement and pathway. **Completed**

Consider whether insulation could be provided and/or upgraded, eg double-glazed windows; roof insulation below roofing felt; external insulation and render system to Church Hall; warm roof with insulation to Hall. **Outstanding**

#### **4.0 BRIEF DESCRIPTION OF BUILDING**

- 4.1 The church is situated within the Redhouse area of Sunderland, some 2.5 miles north west of the city centre, on the north side of the River Wear. The site, on sloping ground, sits at the junction of Rotherfield Road and Redhill Road, set back from these roads with an open frontage laid mainly to grass.

The church forms part of a group of buildings with a linked church hall to the south west and a vicarage to the east. The site was much larger originally, but an area of land to the south was sold and is now occupied by a residential care home.

This is a 'hall' church with nave and chancel under a continuous low profile curved roof, constructed in 1959 to designs by Cordingley and McIntyre of Durham. It has a reinforced concrete portal frame of seven bays mostly with buff multicoloured brick infill all in Flemish bond, with projecting brickwork detail. It has a concrete barrel vault roof spanning approx 11 metres covered with copper faced felt. Window surrounds in cast concrete with cast concrete and tile infill panels beneath windows

A rectangular plan combining nave and sanctuary, with a curved brick east wall and ancillary accommodation to the south. There is clerestory lighting to the north and south facades, with small supplementary slit windows, below on the north side and a large high west window.

The sanctuary is naturally lit by large vertical lights within the first structural bay on the north and south elevations.

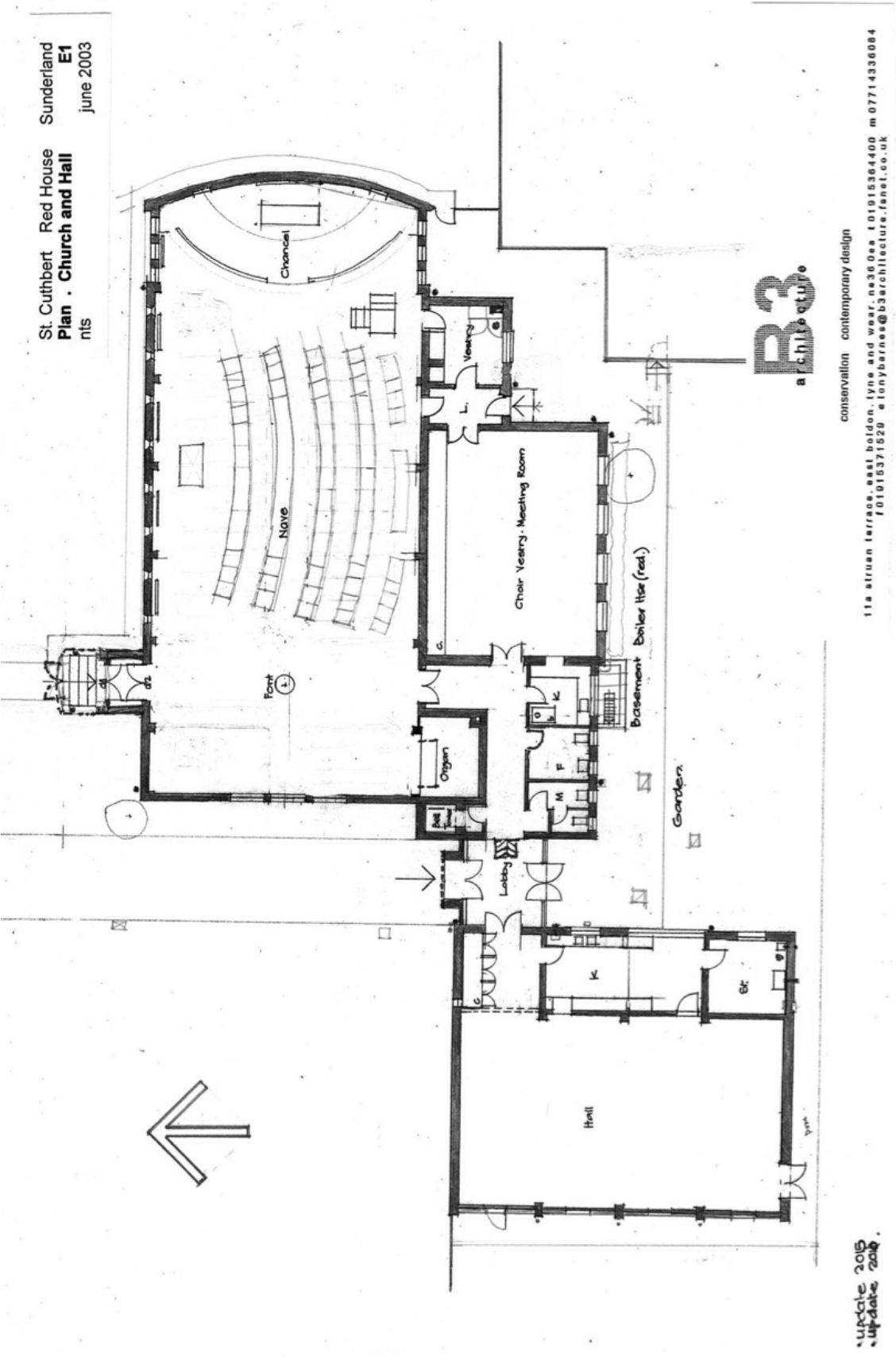
There is an attached brick bell tower with brick and concrete detailing, concrete capping and copper faced spirelet housing one bell at the south west corner. There is a stepped approach to the north porch with projecting canopy in concrete.

The attached ancillary rooms to the south are single storey with flat concrete roofs above walls of brickwork. The linked Church Hall was added c1962, by Bernard Taylor and Associates, a four bay steel structure with load bearing brickwork and infill panels beneath a dual pitched tiled roof. Later amendments to enclose the church/hall link c1979.

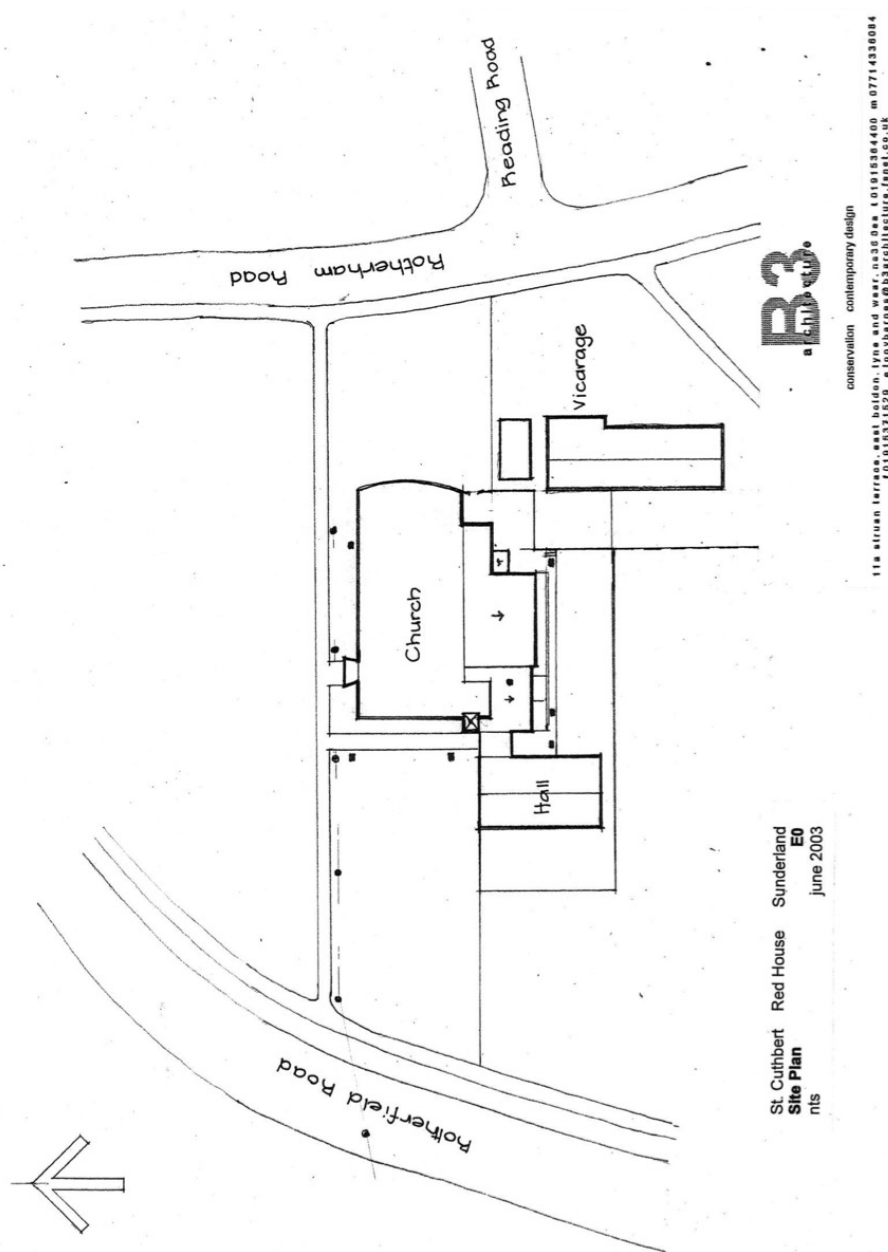
Accommodation comprises Nave and Sanctuary; North Porch; South Entrance Lobby; Vicar's Vestry; Choir Vestry/Meeting Room; Kitchen; WCs; Basement Boiler Room; Tower; West (link) Lobby with Hall access; Hall, Stores and Hall Kitchen.

The Church is, as yet, unlisted, although it is a great piece of architecture.

# 5.0 PLAN OF CHURCH



## 6.0 SITE PLAN OF CHURCH



## 7.0 MAINTENANCE

Maintenance of the church and grounds lies with the PCC.

## 8.0 LIMITATIONS OF THE REPORT

The inspection of the church was visual and made from ground level. Only selected areas were examined in detail. Parts of the structure which were inaccessible, enclosed or covered were not opened up and therefore I am unable to report that any such part of the building is free from defect. The inspection excluded testing of services and organ. The report is restricted to the general condition of the building and is a summary report only as it is required by the Inspection of Churches Measure. It is not a specification for the execution of the work and must not be used as such.



## **9.0 EXTERIOR**

### **9.1 ROOF COVERINGS**

#### **Description**

Curved concrete with copper faced felt to church. Flat concrete with felted finish to ancillary spaces with lead and metal flashings. Timber rafters on trusses to Hall with tiled finish with lead and felt flashings. Concrete to Bell Tower.



**Patching to North Elevation Roof**



**Patching to South Elevation Roof**



**Missing Felt and Spalled Concrete to Choir Vestry/Meeting Room Roof**



**Missing Felt to Organ Loft Roof**



**Felt to Link Lobby Roof**



**Displaced Tile to Hall Roof East Elevation**

## Condition

There are multiple areas of patching to the church copper felted roof in black felt. The ancillary flat roofs cannot be seen from ground level. The Hall roof is in reasonable condition with a single displaced slate to the east elevation.

### **Repair needs, Category B; Requires attention within the next twelve months**

Undertake full inspection of felted roofs and flashings by a reputable roofing company and implement recommendations. Cost Band 2– £2,000.00-£9,999.

### **Repair needs, Category E; a desirable improvement with no timescale**

Consider re-roofing main church roof with insulation. Cost Band 5: £50,000 - £249,999.

## 9.2 RAINWATER GOODS

### Description

Rainwater goods are black painted cast iron gutters and rainwater pipes to the Nave and Sanctuary. Cast iron rainwater pipes drain hidden gutters to the ancillary flat roofs to the south. Black UPVC rainwater pipes with hopper heads serve hidden gutters to North Porch and Hall Lobby Link. Black UPVC gutters and black painted cast iron rainwater pipes to the Hall. Rainwater pipes all drain to gullies.



**Hall Rainwater Pipe**



**Hall Rainwater Pipes**



**Open Joint to Gutter North**



**North Porch Lobby Hopper Head**



**North Elevation Ranwater Pipe**

### **Condition**

It was not possible to tell if everything is fully watertight as it was dry at the time of the inspection. The north elevation gutter needs resealing. There may be an issue with the North Porch hopper head which show signs of leakage.

The rainwater goods all require urgent redecoration. All fixings and joints should be checked over and re-fixed, caulked as necessary. Particular attention is required to decorating the backs of the pipes, which are easily missed.

### **Repair Needs, Category A; Urgent, requiring immediate attention**

Attend to leaking sections of gutter and hopper head. Cost Band 1–£0.00-£1,999.

### **Repair needs, Category B; Requires attention within the next twelve months**

Redecorate rainwater goods. Cost Band 2– £2,000.00-£9,999.



### 9.3 EAVES , FACIAS AND SPIRELET

#### Description

Painted concrete eaves to Nave and North Porch. Part painted concrete eaves to ancillary rooms to south. Lead lined verge gutter to Hall behind timber verge board. Timber facias and verge boards to Hall. Copper cover spikelet to West Tower.



**North Elevation Spalling Concrete at Eaves**



**West Elevation Spalling Concrete at Eaves**



**Choir Vestry/ Meeting Room  
Spalling Concrete at South West  
Corner**



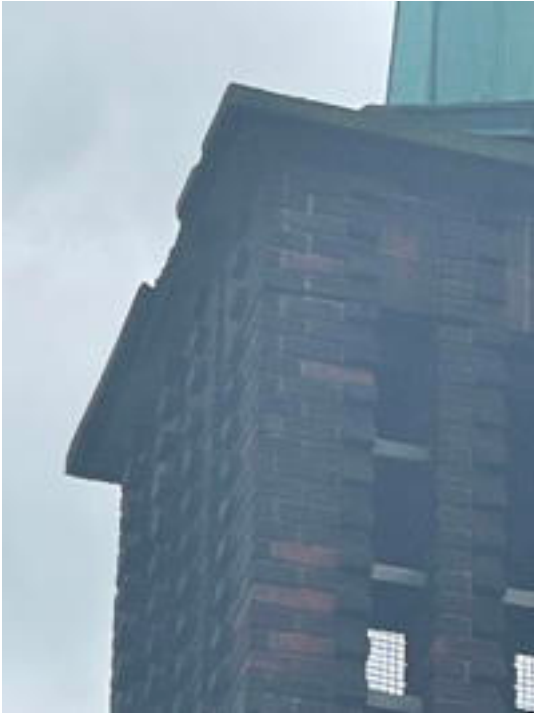
**Choir Vestry/ Meeting Room  
Spalling Concrete South Elevation**



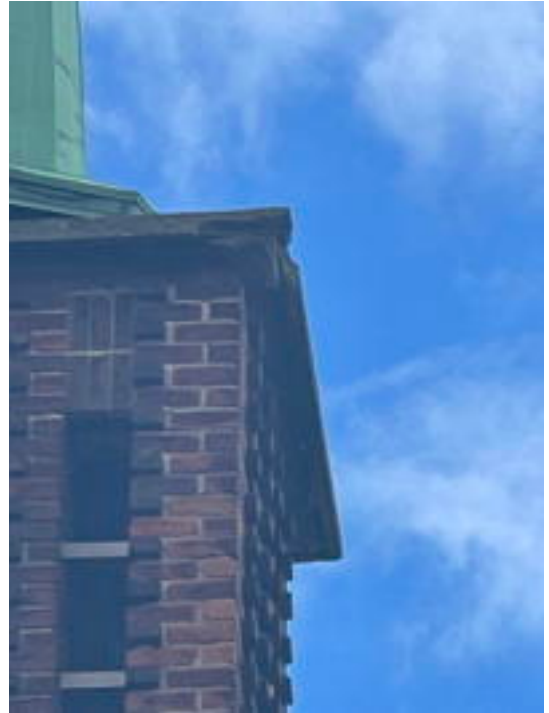
**Choir Vestry/ Meeting Room  
Spalling Concrete West Elevation**



**Spirelet**



**Tower Eaves North Elevation  
Spalling Concrete**



**Tower Eaves West Elevation Spalling  
Concrete**



**Link Lobby Facia**



**Hall Facia and Verge**

### **Condition**

Spirelet appears generally sound and in good condition when viewed from ground level. The tower capping has areas of spalling concrete which have worsened since the last quinquennial. Similarly, the church eaves and meeting room eaves. The timber eaves facias and verges to the hall and link lobby require redecoration.

## **Category B; Requires attention within the next twelve months**

Recreate all fascia and verge boards to Hall and Hall Lobby link. Cost Band 2– £2,000.00-£9,999.

Arrange specialist survey of spalling concrete eaves to church, tower and ancillary south roofs to advise on remedial works and future costs. Cost Band 1–£0.00-£1,999.

### **9.4 WALLING AND POINTING**

#### **Description**

Solid brickwork laid flemish bond to Church and ancillary rooms to south with brick detailing to east and west elevations and concrete infill panels to west elevation. North Porch brickwork laid stack bond. Soldier course brickwork below Sanctuary windows to north and south elevations. Stretcher bond infill to Vicar's Vestry window in poorly matched brick.

Brick bell tower with brick, part stack-bonded and concrete detailing. Stretcher course cavity brickwork to Hall Lobby Link and Hall. Some timber and painted blockwork infill to Hall east and west elevations.



**Tower North Elevation Horizontal Cracking**



**Tower North West Corner Spalled Brickwork**





**West Elevation Spalled Brickwork**



**North Elevation Inadequate Pointing**



**Broken Creasing Tiles to Base of Sanctuary Brickwork**



**Meeting Room/Choir Vestry South Elevation Inadequate Pointing**

## **Condition**

Overall condition of the brickwork remains satisfactory.

There are a few individual bricks that have spalled badly that should be cut out and replaced. Some areas of the church and the ancillary rooms that require repointing with lime mortar

There is a horizontal crack in mortar joint to tower, north elevation east end at mid height.

Replace broken creasing tiles to base of sanctuary brickwork below windows north and south elevations.

The hall timber panelling will require redecoration within the next quinquennial period.

**Repair needs, Category B; Requires attention within the next twelve months**

Investigate horizontal crack to tower and generally survey with steeplejack and implement recommendations. Cost Band 2– £2,000.00-£9,999.

Repoint areas of missing mortar with lime mortar. Cost Band 1–£0.00-£1,999.

**Repair needs, Category D; Requires attention within the next 5 years**

Decorate timber panelling to Hall. Cost Band 1–£0.00-£1,999.

Cut out badly spalled bricks, ie with more than 30% loss of surface depth, and replace with new bricks to match existing. Cost Band 2– £2,000.00-£9,999.

**Repair needs, Category E; a desirable improvement with no timescale**

Replace broken creasing tiles to base of sanctuary brickwork below windows north and south elevations. Cost Band 1–£0.00-£1,999.

## **9.5 WINDOWS AND EXTERNAL DOORS**

### **Description**

Rectangular steel framed windows set in cast concrete surrounds to Church at high level to north and south elevations. Small slot windows on north elevation at low level with plastic coloured film. Triple long windows to Sanctuary north and south elevations with plastic coloured film and attached leadwork to some panes. Coloured glass blocks set in concrete surround to west window with polycarbonate protection. Painted timber panel doors to North Porch behind black painted metal gates.

White UPVC windows in brick reveals with coursed tiled cills to Church WCs and Kitchen. White UPVC windows in concrete surrounds with coursed tiled cills to Choir Vestry/Meeting Room. Steel panel on flush door with black-painted timber frame to South Lobby Entrance. Timber framed panelled timber door to Boiler Room.

White UPVC windows to Hall west elevation. White UPVC windows to Hall east elevation. Timber painted flush doors to Hall south elevation. Brown UPVC windows and glazed doors to Hall Link Lobby south elevation. Roller shutter to Hall Link Lobby north elevation with painted timber flush doors behind.

Brick openings in tower with mesh infill at high level and white painted niches to lower levels with concrete surrounds.





**West Window**



**North Elevation Windows**



**South Elevation Windows**



**Sanctuary Windows**



**North Doors**



**Tower Niches**





**WC and Kitchen Windows**



**Meeting Room/Choir Vestry Windows**



**Link Lobby Doors**



**Hall East Elevation Windows**



**Hall West Elevation Windows**



**Hall South Elevation Doors**

## **Condition**

Concrete surrounds to Church, Tower and Ancillary Room windows in need of decoration.

Ideally, the majority of windows would be replaced with double-glazed units to reduce heat loss and energy bills.

### **Repair needs, Category C, Requires attention within the next 12 to 24 Months**

Decorate all concrete surrounds to windows including tower niches. Cost Band 2– £2,000.00-£9,999.

### **Category E; a desirable improvement with no timescale**

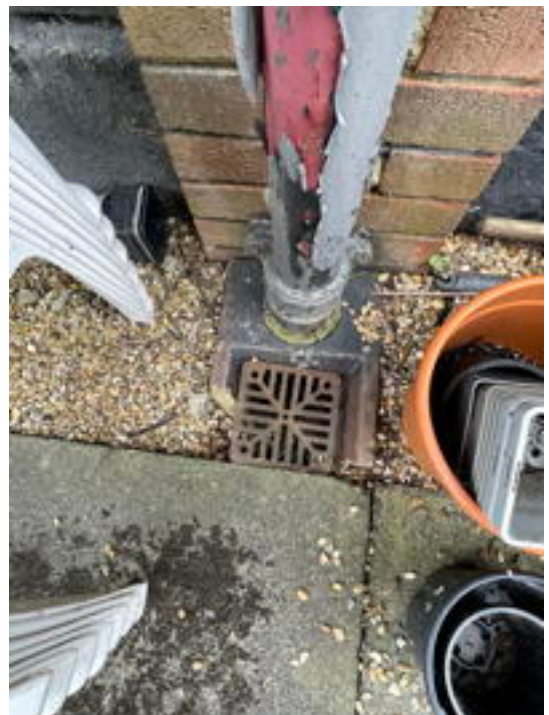
Consider replacing all windows with double glazed units. Cost Band 3: £10,000 – £29,999.

## **9.6 BELOW GROUND DRAINAGE**

Rainwater pipes and waste pipes discharge over clay gullies. There are multiple inspection chambers around the site to the south and west and it is assumed that both foul and surface water all connect to drains.



**Blocked Gully**



**Broken Gully**



**South Elevation Inspection Chamber**

### **Condition**

Some gullies partly blocked and some partly broken. The west elevation inspection chamber is no longer obviously visible near in the vicinity of the newly landscaped orchard area.

### **Repair Needs, Category A; Urgent, requiring immediate attention**

Unblock all gullies. Cost Band 1–£0.00-£1,999.

### **Category B; Requires attention within the next twelve months**

Repair all broken gullies and locate west elevation inspection chamber in landscaping. Cost Band 1–£0.00-£1,999.



## 10.0 INTERIOR

### 10.1 TOWER

#### Description

Solid flush door at ground floor entrance. Concrete at ground floor level, previous vinyl tiles now removed. Wooden platform at first floor level. Walls are fairfaced brickwork. High level openings on four sides at bell hanging, with open vents at belfry level having mesh guards internally. Steel rung fixed ladders give access up tower. Single bell but no visible bell pull. Inspected from ground level only.

#### Condition



**Ground Floor of Tower**

Area now used for storage at ground floor level. No obvious problems when viewed from ground level but horizontal crack previously noted.

**Repair needs, Category B; Requires attention within the next twelve months**

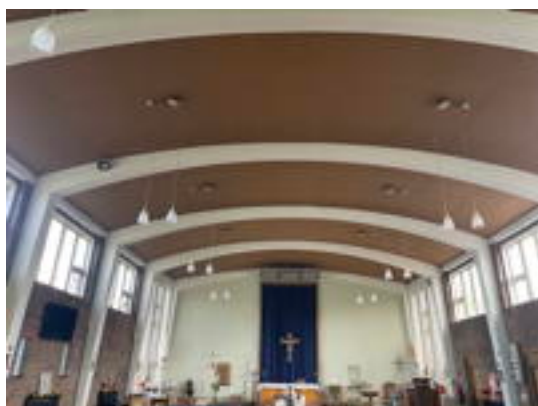
Investigate horizontal crack to tower with steeplejack and implement recommendations. Cost Band 2–£2,000.00–£9,999.

Agree a maintenance schedule based on usage with a bell maintenance company. Cost Band 1–£0.00–£1,999.

### 10.2 ROOF

#### Description

Painted insulation board with taped joints set between curved painted concrete portals.



**Roof Looking East**



**Roof Looking West**

#### Condition

All appear in good condition.



### 10.3 PANELLING AND DOORS

#### Description

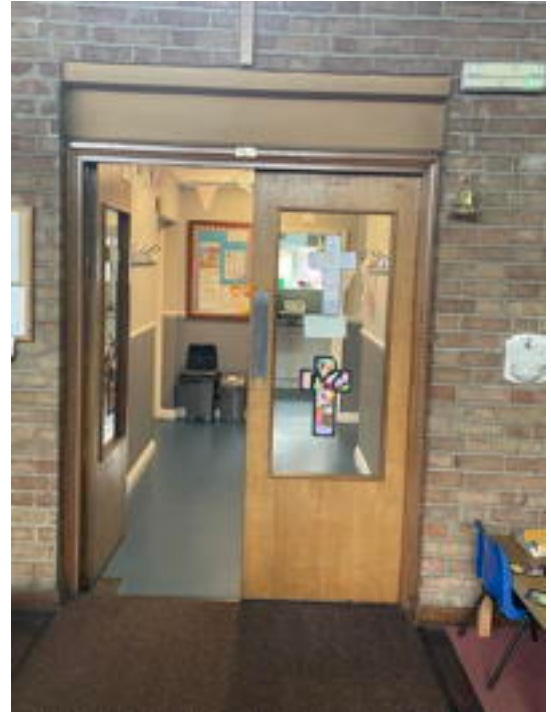
Varnished oak flush single doors to Vicar's Vestry and South Lobby. Part glazed varnished oak flush double doors to North Porch and Hallway.



**Vicar's Vestry and South Lobby Doors**



**North Porch Doors**



**Hallway Doors**

#### Condition

Doors and screens are all in satisfactory condition.

### 10.4 FLOORS

#### Description

Wood block in herringbone pattern to Nave and stone flooring to Sanctuary on concrete subfloor. Carpet strip to west end and semi-circular carpet at north elevation altar overlay wood block.



**Wood Block Flooring Looking East**



**East End Wood Block and Stone Flooring**



**West End Overall Carpet**



**North Elevation Overall Carpet**

### **Condition**

Wood block would benefit from refinishing.

**Category E; a desirable improvement with no timescale**

Refinish woodblock flooring to Church. Cost Band 2– £2,000.00-£9,999.

## **10.5 INTERNAL WALL FINISHES**

### **Description**

Facing brickwork set between concrete portals to Nave and and painted plaster to Sanctuary.

### **Condition**

Some signs of salts to brickwork, notably north west corner and above north porch below previously broken gutters and where pointing has deteriorated. Missing pointing to west window, left hand side at low level, corresponds to some brick deterioration externally, and some staining below west window indicates leakage around glass. Minor cracking to brickwork to north porch doors left-hand side. Plasterwork is in satisfactory condition.



**Salts North West Corner**



**North Elevation Brickwork**



**Salts above North Porch**



**Open joints and Staining to West Window**



**Cracking at North Porch Doors Left Hand Side**



### **Repair needs, Category B; Requires attention within the next twelve months**

Carry out brickwork repairs externally as section 9.4 and repoint at west window internally.

Monitor cracking at North Porch Doors Left Hand Side and report if it deteriorates. Cost Band 1–£0.00-£1,999.

### **Category C; Requires attention within the next 2 Years**

Once brickwork has dried out (approx 12 months) brush down brickwork to remove salts. Cost Band 1–£0.00-£1,999.

Inspect west window glazing by specialist and make watertight. Cost Band 2– £2,000.00-£9,999.

## **10.6 MEMORIALS**

### **Description**

West Window to Leonard Richard Borthwick, Doris and Len Borthwick. Organ to Wilfred Birks Trotter, Priest.



**West Window Memorial**



**Organ Memorial**

### **Condition**

Inspect West Window as item 10.5 above otherwise all well cared for.

## **10.7 NORTH ENTRANCE PORCH**

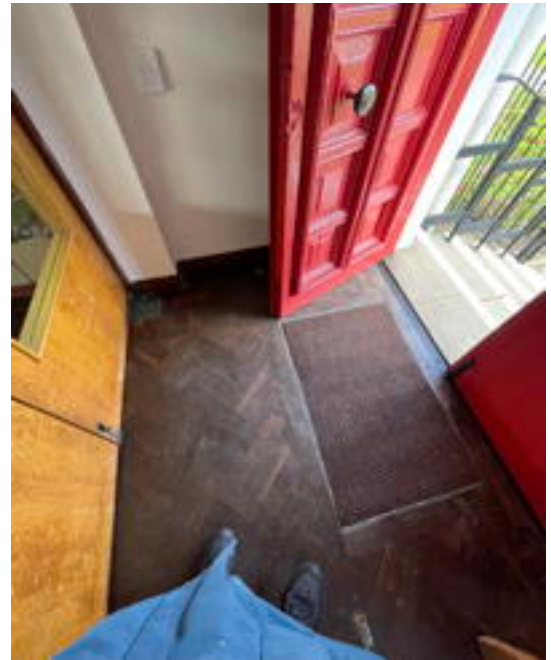
### **Description**

Painted plastered walls and ceiling. The porch floor is wood block in herringbone pattern. Sunken entrance mat.





**North Porch Looking West**



**North Porch Looking West**

### **Condition**

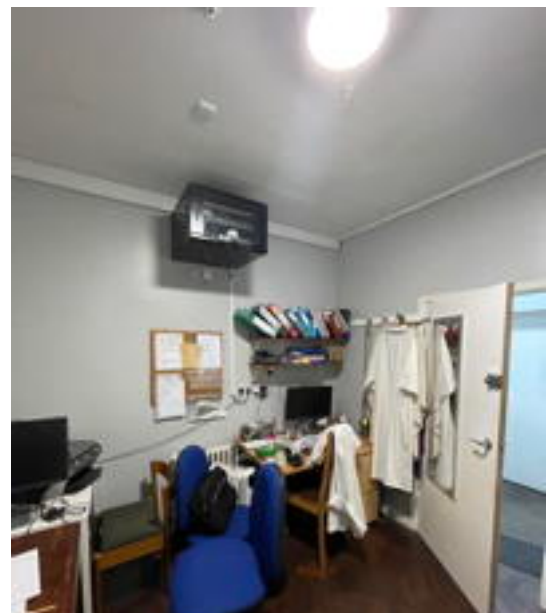
All well cared for.

### **10.8 VICAR'S VESTRY**

#### **Description**



**Vicar's Vestry Looking East**



**Vicar's Vestry Looking West**

Painted plastered walls. Painted fibre board ceiling. The Vestry floor is wood block in herringbone pattern. Painted flush door. Contains the safe. Incoming service meter and distribution board in cupboard. Internet router cabinet at high level.

### **Condition**

The Vicar's Vestry is generally in satisfactory condition.

### **10.9 VICAR'S VESTRY SOUTH LOBBY**

#### **Description**

Painted plastered walls. Painted fibre board ceiling. The South Lobby floor is wood block in herringbone pattern. Painted flush doors.



**Vicar's Vestry South Lobby Looking North**



**Vicar's Vestry South Lobby Looking South**

### **Condition**

The South Lobby is generally in satisfactory condition.

### **10.10 CHOIR VESTRY/MEETING ROOM**

Painted plastered walls. Painted fibre board ceiling. The Vestry/Meeting Room floor is wood block in herringbone pattern. Painted flush doors. Fitted cupboards to north wall.

### **Condition**

The Choir Vestry/Meeting Room is generally in satisfactory condition but the woodblock floor would benefit from refinishing.

### **Category E; a desirable improvement with no timescale**

Refinish woodblock flooring to Choir Vestry/Meeting Room. Cost Band 1-£0.00-£1,999.



**Choir Vestry/Meeting Room Looking East**



**Choir Vestry/Meeting Room Looking West**

## **10.11 ACCESSIBLE WC**

### **Description**

Painted plastered walls and ceilings. No slip vinyl flooring. Painted flush doors.



**Accessible WC**



**Accessible WC**

### **Condition**

The Accessible WC does not meet current standards for an accessible WC. It is in need of general modernisation and decoration; it will be better fitted with a wall-mounted baby-change unit

### **Category C; Requires attention within the next 2 years**

Re-fit accessible WC including Baby Change Unit. Cost Band 2– £2,000.00-£9,999.

### **10.12 WC**

#### **Description**

Painted, plastered walls and ceilings. No-slip vinyl flooring. Painted flush doors.



**WC Looking South**



**WC Looking North**

### **Condition**

The WC is in need of general modernisation and decoration. It should be fitted with a wall mounted Baby Change Unit.

### **Category C; Requires attention within the next 2 years**

Re-fit WC including Baby Change Unit. Cost Band 2– £2,000.00-£9,999.

### **10.13 CHURCH KITCHEN**

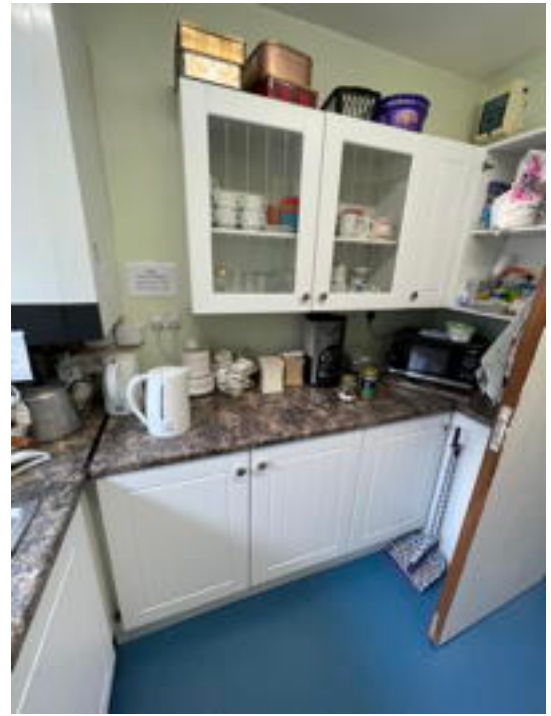
#### **Description**

Painted, plastered walls and ceilings. No-slip vinyl flooring. Painted flush doors. Units replaced 2013.





**Church Kitchen Looking South**



**Church Kitchen Looking West**

### **Condition**

The Church Kitchen is in generally satisfactory condition. The water boiler is chained to the wall for added stability.

### **Category E; a desirable improvement with no timescale**

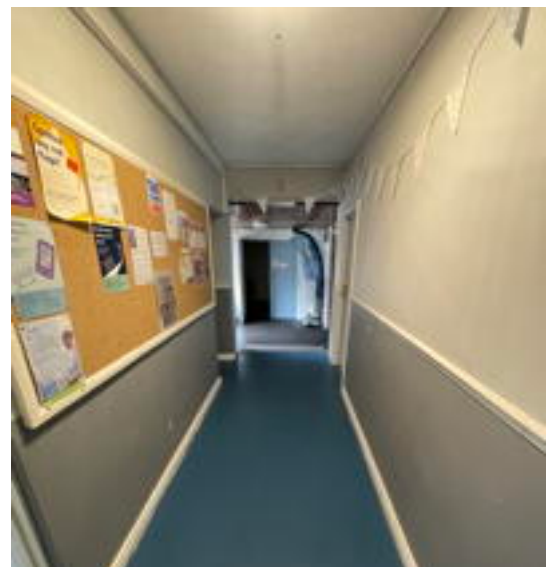
Fit wall-mounted water boiler to church kitchen. Cost Band 1–£0.00-£1,999.

### **10.14 NAVE TO HALL HALLWAY**

Painted, plastered walls. Painted fibre board ceiling. No-slip vinyl flooring. Painted flush door.



**Nave to Hall Hallway Looking South**



**Nave to Hall Hallway Looking West**

## **Condition**

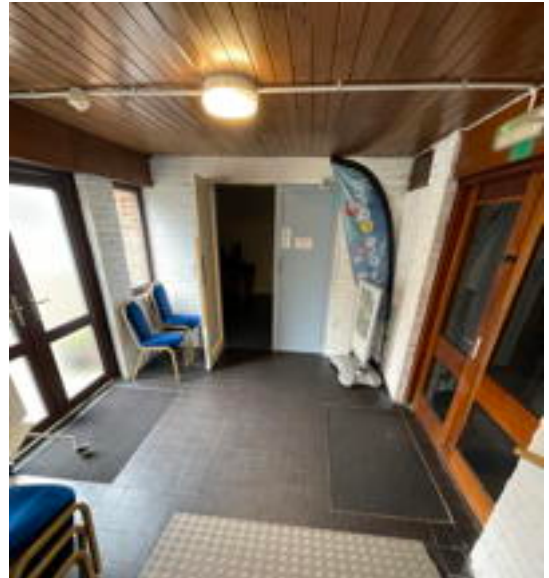
The Nave to Hall Hallway is in generally satisfactory condition.

### **10.15 HALL LINK LOBBY**

Facing brickwork walls. Timber boarded ceiling. Black tiled floor with fitted mat wells to external doors. Metal fixed ramp up to Nave to Hall Hallway.



**Hall Link Lobby Looking East**



**Hall Link Lobby Looking West**

## **Condition**

The Hall Link Lobby is in generally satisfactory condition.

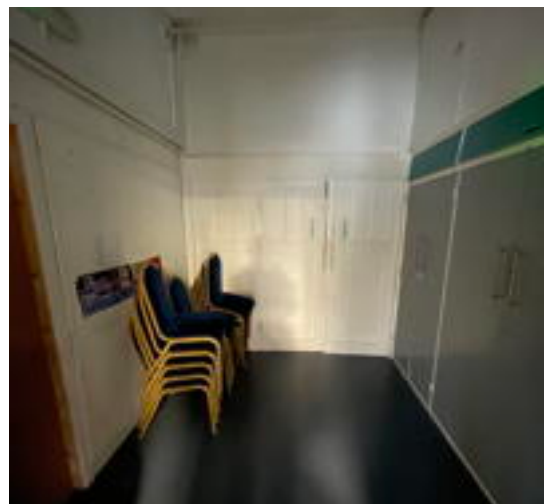
### **10.16 HALL LOBBY**

#### **Description**

Painted, plaster walls and ceiling. No-slip vinyl flooring. Painted panelled doors. Fitted cupboards to north wall.



**Hall Lobby Looking East**



**Hall Lobby Looking West**

**Condition**

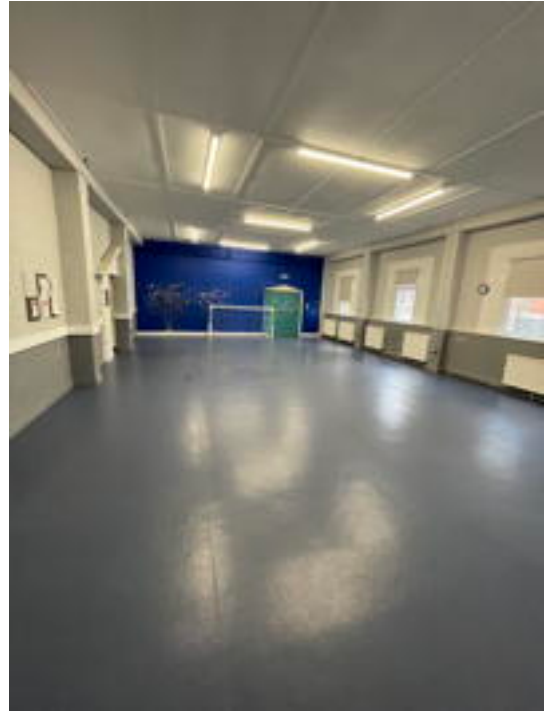
The Hall Lobby is in generally satisfactory condition.

**10.17 HALL****Description**

Painted blockwork walls and brickwork piers. Painted boarded ceiling. Vinyl flooring.



**Hall Looking North**



**Hall Looking South**

**Condition**

The Hall is in generally satisfactory condition.

**10.18 HALL KITCHEN****Description**

Painted blockwork walls, part tiled. Painted boarded ceiling with exposed painted timber rafters. Vinyl flooring. New flush door. Range of kitchen units with 2 sinks, fridge, microwave, water boiler, 8 ring gas cooker. Newly fitted hatch to hall

**Condition**

The Hall Kitchen is in generally satisfactory condition. For Health and Safety reasons it would be better fitted with a wall mounted water boiler. New hatch, door and south wall require decoration.



**Hall Kitchen Looking South**



**Hall Kitchen Looking North**

**Repair needs, Category B; Requires attention within the next twelve months**

Decorate hatch, door and south wall to hall kitchen. Cost Band 1-£0.00-£1,999.

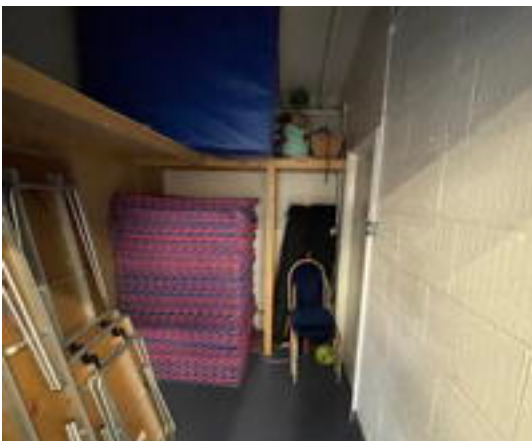
**Category E; a desirable improvement with no timescale**

Fit wall-mounted water boiler to hall kitchen. Cost Band 1-£0.00-£1,999.

**10.19 HALL STORES**

**Description**

Two stores to rear of kitchen, one smaller store formed from rear end of kitchen. Painted blockwork walls. Boarded ceilings with exposed timber rafters. Vinyl flooring. Painted flush doors. Larger store at south east corner contains wall mounted boiler and gas meter.



**Smaller Store Looking East**



**Larger Store Looking East**



## Condition

The Hall Stores are in generally satisfactory condition.

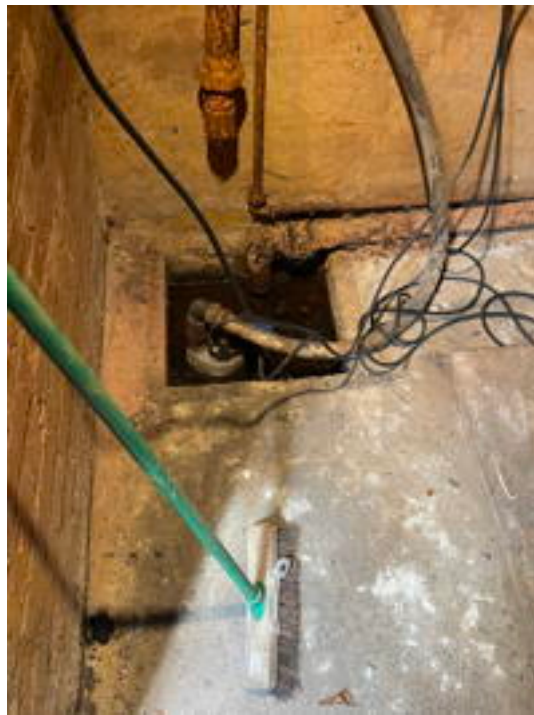
### 10.20 BOILER ROOM

#### Description

Below the Church Kitchen, now disused. Contains pipework and pump for heating system. Concrete and exposed brickwork walls. Concrete ceiling and door. Approached from external fixed metal ladder secured with metal mesh cage. Sump with pump to floor.



**Boiler Room**



**Boiler Room Sump Pump**

## Condition

The handrail has been replaced since the last quinquennial. Metal mesh cage requires decoration.

### Repair Needs, Category B; Requires attention within the next 12 months

Decorate metal mesh cage. Cost Band 1—£0.00-£1,999.

### 10.21 FIXTURES, FITTINGS, FURNITURE AND MOVEABLE ARTICLES

#### Description

Oak east end altar table with oak altar rail with paired balusters and curved rail to Sanctuary with assorted candle sticks and small tables and stools.

Wooden north side altar table and with wooden assorted chairs and wooden lectern.

Loose chairs with cushions.

Pulpit polished oak to south east corner.

Font black painted metal work base with stone top with metal work lid to west end.

Children's Corner to west end with assorted tables and shelves.

Assorted hangings to north and south walls.



**East End Sanctuary**



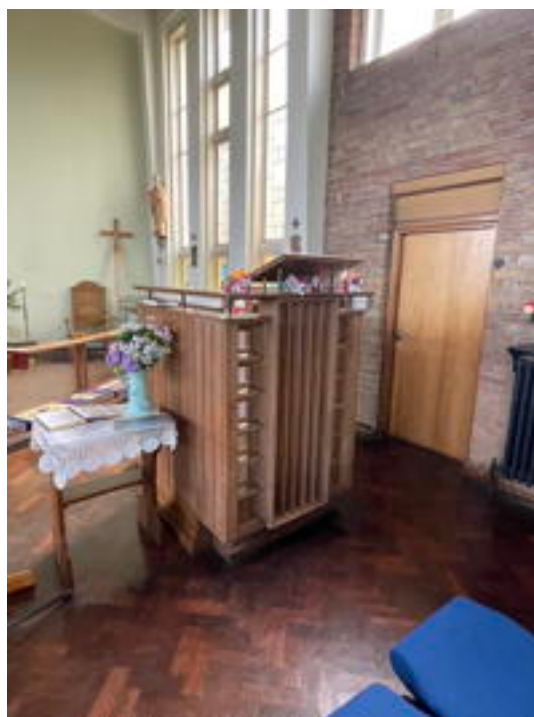
**North Altar and Hangings**



**Loose Chairs**



**Font and West End Children's  
Corner**



**Pulpit**

## **Condition**

All are in satisfactory condition.

## 10.22 ORGAN

### Description

Organ is situated to the south west end of the nave within a recess. It is a two manual organ by Vincent of Sunderland, 1967.

There was no Organ Tuner's Book visible. Further details at <https://www.npor.org.uk/NPORView.html?RI=D06404>.



**Organ**



**Possible Pigeon Infestation**

### Condition

Believed to be in working order. Possibly pigeons entering organ loft from exhaust flue externally.

### Repair Needs, Category A; Urgent, requiring immediate attention

Fit suitable cowl to external pipework to prevent pigeon and other similar access. Cost Band 1–£0.00-£1,999.



## **11.0 CHURCH ENVIRONS**

### **11.1 BOUNDARY FENCES AND GATES**

#### **Description**

Close boarded fencing to east, south and west rear boundary. Some sections to south and west painted in multiple colours. Black painted metal gate to south east corner gives access to rear sections of site. Front boundaries all open.



**Fencing South East Corner**



**Fencing South West Corner**



**South Boundary Fence Towards Western Corner**



**South East Corner Gate**



**South Boundary Fence**



## Condition

All mostly in satisfactory condition. South boundary fence towards west end of site looking dilapidated

## Category E; a desirable improvement with no timescale

Consider replacement of South boundary fence towards west end of site. Cost Band 1-£0.00-£1,999.

## 11.2 NOTICEBOARDS

### Description

To north west corner of the Church with second sign at high level to north elevation.



**Noticeboard**



**North Elevation Noticeboard**

## Condition

The Noticeboards are in satisfactory condition

## 11.3 PATHS AND LANDSCAPING

### Description

The north boundary is a flagged pathway running parallel with the north elevation of the church. A concrete pathway leads to the Hall Link Lobby. A blocked paved pathway lead to the North Porch. A small concrete pathway leads round the north and east elevations of the church to the gate at the south east corner. A cruciform planting bed has been formed adjacent to the north porch. The land to the west of the church has recently been planted with some orchard trees and the grass partly dug over. All other landscaping to the north, east and west elevations of the church is grass.

A concrete pathway leads round the south of the church where there is an enclosed raised garden newly set out. There are paved pathways to the east, south and west of the Hall and grass to the south and west of the Hall.



**North Elevation Pathway**



**Cruciform Planting Bed**



**Enclosed Raised Garden to The South**



**Grassed Area to West of Hall**

## **Condition**

All is generally in satisfactory condition but the grass was not yet cut. I was informed that this was imminent.

## **11.4 TREES**

### **Description**

There is a single large sycamore tree to the east of the Church. There are some small deciduous trees to the south west corner of the raised garden. The land to the west of the church has recently been planted with orchard trees and the grass has been partly dug over.



**East End Sycamore**



**Raised Garden Trees**



**West End Orchard and Dug Over Grass**

### **Condition**

The trees generally all appear to be in satisfactory condition. The trees should all be inspected by a qualified tree surgeon every five years, and pruned in accordance with their recommendations.

### **Repair Needs, Category M; Routine Maintenance**

Maintain the trees generally with regular pruning as advised by qualified tree surgeon and arrange tree survey on a 5 yearly basis by qualified tree surgeon. Cost Band 1-£0.00-£1,999.



## **12.0 SERVICE INSTALLATIONS AND OTHER MATTERS**

### **12.1 HEATING**

#### **Description**

The main church heating comprises a Potterton Gold WH65 74Kw, wall-hung combi boiler in the Church Kitchen, serving the church with a flue through the Church Kitchen south wall and the pump in the boiler house below. It was last noted in the log book as serviced 25 September 2020. The boiler feeds a series of cast iron radiators generally around the perimeter of the building through steel pipework. It provides hot water to the WCs and Church Kitchen.

The Hall Heating comprises a Baxi Solo 24HE 24Kw wall-mounted boiler in the Hall Store with a flue through the south wall. There is a Main Medway Super wall-mounted water heat in the Hall Kitchen. It was last noted in the log book as serviced 25 September 2020. The boiler feeds a series of pressed steel radiators generally around the perimeter of the building through copper pipework.

The gas meter is in Hall Store.



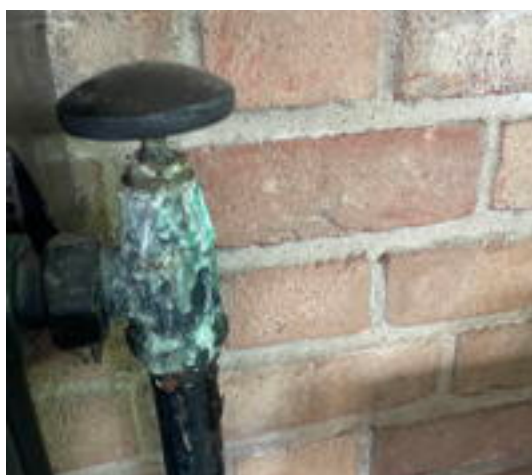
**Church Boiler**



**Hall Boiler**



**Church Radiator**



**Church Radiator Valve**





**Hall Kitchen Water Heater**



**Hall Radiator**

### **Condition**

The Gas Safety Certificate in the Log Book indicates that the boilers were due to be serviced by 24 November 2025, and therefore servicing is overdue.

There are signs of leakage to cast iron radiators in the church.

### **Repair Needs, Category A; Urgent, requiring immediate attention**

Arrange boiler servicing immediately and keep certificates in Log Book. Cost Band 1–£0.00-£1,999.

### **Category C; Requires attention within the next 2 years**

Draw up plan to replace leaking cast iron radiators and associated pipework prior to failure of the system. Cost Band 1–£0.00-£1,999.

## **12.2 ELECTRICAL INSTALLATION**

### **Description**

The electrical supply comes into the Vicar's Vestry cupboard and was reported as due for its next test 14 October 2031.

Wiring in the church is generally concealed with white plastic sockets. Wiring is generally surface fixed in plastic trucking with metal sockets in the Hall.

In the church there are pendant lights. There are fluorescent type, and compact fluorescent type lights, to other areas.

There is an emergency lighting system.



**Church Lights**



**Emergency Light**



**Typical Church Socket**



**Missing Shade**



**Fluorescent Type Lighting**



**Typical Hall Socket**

## **Condition**

There is no record of the fire detection system having been tested in the Log Book. There is one missing shade to the church lights

## **Repair Needs, Category A; Urgent, requiring immediate attention**

Have fire detection system serviced on an annual basis. Cost Band 1-£0.00-£1,999.

### **Category E; a desirable improvement with no timescale**

Replace missing shade to church lights.

## **12.3 Insulation and Air Leakage**

### **Description**

It is not apparent that there is any insulation to the building. The North Porch provides a draught lobby. The windows to the ancillary areas have been double glazed.

The building does not appear unduly draughty.

### **Repair Needs, Category E; a desirable improvement with no timescale**

Consider whether insulation could be provided and/or upgraded, eg double-glazed windows to the church; roof insulation below roofing felt; external insulation and render system to Church Hall; warm roof with insulation to Hall; solar panels to flat roofs.

## **12.4 WATER SUPPLY**

### **Description**

The incoming mains supply is in the WC area.

### **Condition**

All appears to be in working order.

## **12.5 SOUND SYSTEM AND HEARING LOOP AND VISUAL DISPLAY**

There is a Sound System in the church installed 2016 with moveable lectern microphones, facilities for radio microphones, a Hearing Loop installed 2018 and mixer desk with wall mounted speakers.

There is a visual display system with two TVs on the north elevation wall. There is a further 55-inch TV and DVD player on the Meeting Room east wall.



**North Elevation Screens**



**Church Speaker**



**Audio Visual Housing Unit**



**Meeting Room TV and DVD**

### **Condition**

All appears to be in working order.

## **12.6 FIRE PROTECTION**

### **Description**

Fire protection is provided by fire extinguishers which were last noted in the Log Book as serviced 5 May 2026 by Safe and Sure. There is an emergency lighting system but no record of servicing in the Log Book.

A secondary means of escape to the outside is provided to the Church, Choir Vestry/Meeting Room and Hall.

### **Condition**

All appears to be in working order.

## **12.7 LIGHTNING CONDUCTOR**

There is a lightning conductor on the Tower West Wall.

### **Condition**

There is no record of it having been tested in the Log Book

### **Repair Needs, Category A; Urgent, requiring immediate attention**

Arrange Lightning Conductor Test and thereafter every five years, in accordance with the current British Standard, by a competent engineer. The record of the test results and conditions must be kept with the Church Log Book. Cost Band 1-£0.00-£1,999.



## **12.8 SECURITY**

The locks to church all appear satisfactory from a security point of view. Safe in Vestry. Anti-Climb devices to all flat roofs. Metal gates and screen to North Porch. Intruder alarm fitted, last noted as serviced 14 April by Crimewatch Safeguard Security Systems.

### **Condition**

All appears to be satisfactory.

## **12.9 ACCESS AND USE BY PEOPLE WITH DISABILITIES**

### **Description**

Permanent level access is provided to the building through the South Lobby and the Hall Link Lobby.

There is no wheelchair-accessible WC. There is a hearing loop system. The internal decor to the building generally provides contrasting colours, which is helpful for the visually impaired. Artificial lighting is satisfactory so that those who are visually impaired should not experience too much difficulty in this area. Large print copies of service sheets and hymn books where used should be provided for the visually impaired.

### **Condition**

All appears to be satisfactory except lack of wheelchair-accessible WC.

### **Repair Needs, Category C; Requires attention within the next 2 years**

Provide Wheelchair-Accessible WC as item 10.11

### 13.0 SUMMARY OF REPAIRS

#### **Repair Needs, Category A; Urgent, requiring immediate attention**

Attend to leaking sections of gutter and hopper head. Cost Band 1–£0.00-£1,999.

Unblock all gullies. Cost Band 1–£0.00-£1,999.

Fit suitable cowl to external pipework to prevent pigeon and other similar access. Cost Band 1–£0.00-£1,999.

Arrange boiler servicing immediately and keep certificates in. Log Book. Cost Band 1–£0.00-£1,999.

Have fire detection system serviced on an annual basis. Cost Band 1–£0.00-£1,999.

Arrange Lightning Conductor Test and thereafter every five years, in accordance with the current British Standard, by a competent engineer. The record of the test results and conditions should be kept with the Church Log Book. Cost Band 1–£0.00-£1,999.

#### **Category B; Requires attention within the next twelve months**

Undertake full inspection of felted roofs and flashings by a reputable roofing company and implement recommendations. Cost Band 2– £2,000.00-£9,999.

Redecorate rainwater goods. Cost Band 2– £2,000.00-£9,999.

Recoat all fascia and verge boards to Hall and Hall Lobby link. Cost Band 2– £2,000.00-£9,999.

Arrange specialist survey of spalling concrete eaves to church, tower and ancillary south roofs to advise on remedial works and future costs. Cost Band 1–£0.00-£1,999.

Investigate horizontal crack to tower and generally survey with steeplejack and implement recommendations. Cost Band 2– £2,000.00-£9,999.

Repoint areas of missing mortar with lime mortar. Cost Band 1–£0.00-£1,999.

Repair all broken gullies and locate west elevation inspection in landscaping. Cost Band 1–£0.00-£1,999.

Agree a maintenance schedule based on usage with a bell maintenance company. Cost Band 1–£0.00-£1,999.

Monitor cracking at North Porch Doors Left Hand Side and report if it deteriorates. Cost Band 1–£0.00-£1,999.

Decorate hatch, door and south wall to hall kitchen. Cost Band 1–£0.00-£1,999.

Decorate metal mesh cage. Cost Band 1–£0.00-£1,999.

#### **Category C; Requires attention within the next 2 years**

Decorate all concrete surrounds to windows including tower niches. Cost Band 2– £2,000.00-£9,999.

Once brickwork has dried out (approx 12 months) brush down brickwork to remove salts. Cost Band 1–£0.00-£1,999.

Inspect west window glazing by specialist and make watertight. Cost Band 2– £2,000.00-£9,999.

Re-fit accessible WC including Baby Change Unit. Cost Band 2– £2,000.00-£9,999.

Re-fit WC including Baby Change Unit. Cost Band 2– £2,000.00-£9,999.

Draw up plan to replace leaking cast iron radiators and associated pipework prior to failure of the system. Cost Band 1–£0.00-£1,999.

#### **Repair Needs, Category D; Requires attention within the next 5 years**

Decorate timber panelling to Hall. Cost Band 1–£0.00-£1,999.

Cut out badly spalled bricks, ie with more than 30% loss of surface depth, and replace with new bricks to match existing. Cost Band 2– £2,000.00-£9,999.

#### **Category E; a desirable improvement with no timescale**

Consider re-roofing main church roof with insulation. Cost Band 5: £50,000 - £249,999.

Replace broken creasing tiles to base of sanctuary brickwork below windows north and south elevations. Cost Band 1–£0.00-£1,999.

Consider replacing all windows with double glazed units. Cost Band 3: £10,000 – £29,999.

Refinish woodblock flooring to Church. Cost Band 2– £2,000.00-£9,999.

Refinish woodblock flooring to Choir Vestry/Meeting Room. Cost Band 1–£0.00-£1,999.

Fit wall-mounted water boiler to church kitchen. Cost Band 1–£0.00-£1,999.

Fit wall-mounted water boiler to hall kitchen. Cost Band 1–£0.00-£1,999.

Consider replacement of South boundary fence towards west end of site. Cost Band 1–£0.00-£1,999.

Replace missing shade to church lights.

Consider whether insulation could be provided and/or upgraded, eg double-glazed windows to the church; roof insulation below roofing felt; external insulation and render system to Church Hall; warm roof with insulation to Hall; solar panels to flat roofs.

**Repair Needs, Category M; Routine Maintenance**

Maintain the trees generally with regular pruning as advised by qualified tree surgeon and arrange tree survey on a 5 yearly basis by qualified tree surgeon. Cost Band 1–£0.00-£1,999.

## 14.0 ROUTINE MAINTENANCE PLAN

General maintenance should be carried out on a seasonal basis, following the list below. Further advice is available in *SPAB Faith in Maintenance Calendar* at <https://www.spab.org.uk/sites/default/files/SPAB-FiM-maintenance-calendar.pdf>.

### 14.1 RAINWATER GOODS AND DRAINS

#### **Gutters and Downpipes**

Clear away leaves and debris regularly.  
Consider fitting bird/leaf guards.

#### **Gullies**

Clean gullies regularly and remove any silt and debris.  
Clear any blockages using drain rods.  
Empty any silt traps every three months.

#### **Soakaways**

Check for silting or contamination every few months or so.  
Remove any silt deposits when the soakaway chamber is empty.

### 14.2 ROOFS

#### **Natural Slate**

Record the location of slipped slates and tiles before having them replaced.

#### **Ridges**

Use mastic or repair tapes as an emergency measure until a proper repair can be carried out.  
Consider having heating tapes fitted in inaccessible gutters.

#### **Roof Valleys and Parapet Gutters**

Clear debris from roof valleys and parapet gutters at least twice a year.  
Clear away snow from parapets and valley gutters in the winter.

#### **Flashings**

Remove leaves and other debris that have become trapped underneath duckboards.

#### **Bellcote**

Consider commissioning a steeplejack to inspect the bell tower once every five years.

### 14.3 WALLS

#### **Structural Issues**

Note down the position of any existing cracks, bulges or other such defects in your logbook. Take advice from your architect or surveyor about whether monitoring is required.  
Report significant changes in any cracks to your architect or surveyor.

#### **Masonry**

Clean gullies regularly and remove any silt and debris.  
Clear any blockages using drain rods.  
Empty any silt traps every three months.

#### **Timber**

Ensure that the integrity of paint finishes is maintained by repainting external timberwork every few years.

#### **Plants**

Clear away plant growth from around the building.



Consider removing ivy and other climbing plants.

#### **Ground levels, Air Bricks and Ventilators**

Clean air bricks or ventilators if necessary.

Consider fitting a fine mesh behind the ventilator to exclude rodents and insects.

### **14.4 DOORS AND WINDOWS**

#### **Doors**

Lubricate door ironmongery.

Check the security of any locks.

#### **Timber Windows**

Ensure that the integrity of paint finishes is maintained by repainting timber windows every few years.

Make sure that windows can be opened easily so that the building can be ventilated.

Lubricate window ironmongery.

Check the security of any locks.

#### **Metal Windows**

Ensure that the integrity of paint finishes is maintained by repainting metal windows every few years.

Make sure that windows can be opened easily so that the building can be ventilated.

Lubricate window ironmongery.

Check the security of any locks.

#### **Leaded Windows**

Make sure that windows can be opened easily so that the building can be ventilated.

Clear away any dirt from condensation drainage channels.

#### **Ferramenta**

Check for silting or contamination every few months or so.

Remove any silt deposits when the soakaway chamber is empty.

#### **External Joinery**

Ensure that the integrity of paint finishes is maintained by repainting external joinery every few years.

### **14.5 INSIDE THE BUILDING**

#### **Bells and Bell Frames**

Consider preparing and implementing a maintenance plan for the bell and bell frame.

#### **Ceilings**

Consider carrying out an inspection of the roof covering if you observe any new stains.

#### **Internal Walls**

Identify and address the cause of any dampness indicated by patches of staining or peeling paint.

Open windows and doors on dry days during the summer months, to allow water vapour to escape.

#### **Organs**

Consider keeping a Tuner's Logbook.

## **14.6 SERVICES**

### **Plumbing**

Fix dripping taps and leaks immediately to prevent moisture seeping into nearby timber or masonry and causing decay.

### **Electrical Systems**

Commission an electrical inspection by a qualified person at least once every five years.

### **Heating Systems**

Shut down the heating system once a year and have the boiler serviced.

### **Fire Safety**

Test and clean smoke alarms regularly

Arrange for fire extinguishers to receive an annual maintenance check and service.

Consider having your lightning conductor system tested at least once every five years.

## 15.0 ADVICE TO THE PCC

- This is a summary report; it is not a specification for the execution of the work and must not be used as such.
- The professional adviser is willing to advise the PCC on implementing the recommendations and will, if so requested, prepare a specification, seek tenders and oversee the repairs.
- The PCC is advised to seek ongoing advice from the professional adviser on problems with the building.
- Contact should be made with the insurance company to ensure that the cover is adequate.
- The repairs recommended in the report will (with the exception of some minor maintenance items) be subject to the faculty jurisdiction. Guidance on whether any particular work is subject to faculty can be obtained from the DAC.
- **Fire Safety Advice** can be found at <https://www.ecclesiastical.com/risk-management/church-fire-articles/>.
- **Electrical Installation**  
Any electrical installation should be tested at least once every five years, in accordance with the recommendations of the Church Buildings Council. Inspection and testing should be carried out in accordance with IEE Regulations, Guidance Note No. 3, with an inspection certificate obtained in every case. The certificate should be kept with the Church Log Book. For further details, please see <https://www.ecclesiastical.com/risk-management/church-electrical-wiring/>.
- **Heating Installation**  
A proper examination and test should be made of the heating system by a qualified engineer each summer before the heating season begins, and the report kept with the Church Log Book.
- **Lightning Protection**  
Any lightning conductor should be tested at least once every five years, in accordance with the current British Standard, by a competent engineer. A record of the test results and conditions should be kept with the Church Log Book.
- **Asbestos**  
A suitable and sufficient assessment should be made as to whether asbestos is, or is liable to be, present in the premises. Further details on asbestos are available at <https://www.ecclesiastical.com/risk-management/asbestos/>. Such an assessment has not been covered by this report, and it is the duty of the PCC to ensure that this has been, or is carried out.
- **Equality Act 2010**  
The PCC should ensure that they have understood their responsibilities under The Equality Act 2010. Further details and guidance are available at <https://churchgrowth.org.uk/wp-content/uploads/2020/09/Equality-act-making-buildings-fully-accessible-September-2020.pdf>
- **Health and Safety**  
Overall responsibility for the health and safety of the church and churchyard lies with the incumbent and PCC. This report may identify areas of risk as part of the inspection, but this does not equate to a thorough and complete risk assessment by the PCC of the building and churchyard.
- **Bats and other protected species**  
The PCC should be aware of its responsibilities where protected species are present in a church. Guidance can be found at <https://www.churchofengland.org/resources/churchcare/advice-and-guidance-church-buildings/bats-churches>.

## **Trees, Bells and Organs**

The Church Building Council has prepared the following fact sheets:

### **Trees**

<https://d3hgrlq6yacptf.cloudfront.net/5fbc2ba5a8086/content/pages/documents/eafeb641c40a88e3e20e70d2e2d254c9a6f6ac28.pdf>

### **Bells**

<https://d3hgrlq6yacptf.cloudfront.net/5fbc2ba5a8086/content/pages/documents/5d956a7eef3eb6e41cfed5690363b0b16d63935e.pdf>

### **Organs**

<https://d3hgrlq6yacptf.cloudfront.net/5fbc2ba5a8086/content/pages/documents/ab01e8a6f0f019e8282fcc2f09aa7b7ab16a9b23.pdf>

- **Sustainable Buildings**

A quinquennial inspection is a good opportunity for a PCC to reflect on the sustainability of their building and its use. This may include adapting the building to allow greater community use, considering how to increase resilience in the face of predicted changes to the climate, as well as increasing energy efficiency and considering other environmental issues. Further guidance is available at <https://www.churchofengland.org/about/church-england-environment-programme>.

I wish to add, on a personal basis, that it is significantly more difficult to alter existing buildings after they have been listed. The time to get on with upgrading the future sustainability of the church building, therefore, is now!