

**Quinquennial Inspection Report
St Alban's Church, Windy Nook, Gateshead
Deanery of Gateshead
Archdeaconry of Sunderland
Diocese of Durham**



Report prepared by

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2 May 2026

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1.0 BACKGROUND

- 1.1 St Alban's Church, Windy Nook
Windy Nook Road
Gateshead
Tyne and Wear
NE10 9SL
- 1.2 Client:
The Parochial Church Council of The Parish Church of St Alban, Windy Nook
Windy Nook Road
Gateshead
Tyne and Wear
NE10 9SL
- 1.3 Report prepared by David Jowett - Architect, BA, DipArch, RIBA
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email: david@davidjowett-architect.co.uk
- 1.4 Date of Inspection 25 March 2026 at 10:00am
- 1.5 Weather conditions - temperature 9 degrees, windy, sunny and dry
- 1.6 Previous Report 30 March 2021 by David Jowett - Architect. The previous inspection before that had been carried out by Michael Drage on 30 June 2015 in 2010.

2.0 EXECUTIVE SUMMARY

2.1 The church is kept in satisfactory condition and there are no major defects to report.

There are a number of loose flashings that need to be attended to urgently, and a more detailed inspection by a reputable roofing contractor should be carried out to keep sure that the building is fully watertight.

The planting around the church is expertly carried out and uplifts the surroundings. However, planting hard against the walls of the church wall, particularly the Porch, is causing significant issues as can be seen internally. The planting needs to be pulled approximately 300mm away from the walls to allow for ventilation and drainage.

The Porch and its east door are urgently in need of attention. The door is starting to rot quite seriously and risks being lost if it is not attended to with some urgency. The Porch needs a general cleanout and decorating.

The rainwater goods are all in need of decoration and if left for much longer will start to fail.

The Log Book is very out of date, and it appears that the basic requirements of servicing the boiler and the electrical system are being overlooked. The current status of checks needs to be confirmed and brought up to date if necessary. The Archdeacon may be able to advise on how best to keep the Log Book.

The ongoing maintenance of these buildings and its extensive grounds is currently undertaken by a small number of people with limited funds and these people should be applauded for their efforts.

3.0 PREVIOUS REPORT

- 3.1 The Previous Report followed the inspection on 11 March 2021 by David Jowett - Architect, 25 Roseworth Avenue, Gosforth, Newcastle upon Tyne, NE3 1NB.

The report identified the following maintenance items and these are noted as either completed or outstanding:

Repair Needs, Category A, Urgent, requiring immediate attention

Replace all chipped slates. **Outstanding.**

Secure loose flashing. **Completed.**

Remove obstructions to run offs to let water drain to grassed areas. **Outstanding.**

Replace missing gully. **Outstanding.**

Lubricate bell mountings unless completed since the last quinquennial. **Outstanding.**

Clear moss from north eastern pathway. **Outstanding.**

Remove buddleia and other seedlings. **Part completed.**

Boiler must be tested immediately and then every 12 months and a copy of the test certificate kept with the Log Book. **Outstanding**

Electrical system must be tested immediately and then every five years and a copy of the test certificate kept with the Log Book. **Outstanding**

Category B, Requires attention within the next twelve months

Undertake full inspection of fibreglass lined gutters by reputable roofing company. **Outstanding.**

Redecorate rainwater goods. **Outstanding.**

Check pointing to gables by reputable roofing company as above. **Outstanding.**

Excavate a trench 300mm wide and to 450mm below existing ground level to south nave wall. Line sides and bottom of trench with Recycled Polyester Geotextile material. Backfill trench with gravel between 20mm and 50mm diameter to within 100mm of surface and cover with a further layer of Recycled Polyester Geotextile material. Backfill to surface with final 100mm gravel layer. Repoint open joints in stonework with lime mortar. **Outstanding.**

To Entrance Door RHS locally brush down and decorate peeling section of paintwork and treat mouldy sections with appropriate fungicidal solution and redecorate. **Outstanding.**

To Entrance Porch locally brush down and decorate peeling section of paintwork and redecorate. **Outstanding.**

Replace edge seals to vinyl flooring in East End Lobby with Dow 785+ clear silicone sealant. **Outstanding.**

Replace edge seals to vinyl flooring in Kitchen with Dow 785+ clear silicone sealant. **Outstanding.**

Replace edge seals to vinyl flooring in WC with Dow 785+ clear silicone sealant. **Outstanding.**

Supply Organ Tuners Book if none already available. **Outstanding.**

Establish who is responsible for maintenance of boundary walls and fences. **Completed.**

Generally rack out all cement mortar to boundary walls and all loose mortar and repoint as necessary. **Outstanding.**

Decorate entrance gates. **Outstanding.**

Confirm water entry position. **Completed.**

Fit Fire Exit sign to East Lobby door from north aisle and to external door. **Completed.**

Amend locks to East Lobby door from north aisle and to external door, to have a thumb turn on the inside. **Outstanding.**

Repair Needs, Category D, Requires attention within the next 5 years

Point porch floor joints. **Outstanding.**

Consider alternative storage for Wheelie bin and other stored material. **Part completed.**

Consider alternative storage for stored materials in Kitchen. **Completed.**

Decorate Kitchen walls and ceiling. **Outstanding.**

Decorate WC walls and ceiling. **Outstanding.**

Decorate Vestry walls and ceiling. **Outstanding.**

Consider fitting metal railings and secure gate around staircase to Boiler Room and a handrail to staircase to Boiler Room. **Outstanding.**

Category E, a desirable improvement with no timescale

Where downpipes are cemented into slots in the plinth stonework these should be observed for deterioration. Replacement in due course should incorporate a suitable offset to avoid this detail being replicated. **Outstanding.**

Replace cracked quarries and replace 3no windows. **Outstanding.**

East End Lobby consider alternative storage for stored materials. **Completed.**

Consider whether insulation could be provided and/or upgraded. **Outstanding.**

Consider fitting a lightening conductor. **Outstanding.**

Consider fitting a handrail to the chancel steps. **Outstanding.**

Repair Needs, Category M, Routine Maintenance

Monitor stonework deterioration. **Outstanding.**

Decorate Vestry Lobby and Boiler House doors and monitor windows 7 to 10. **Outstanding.**

Lift all inspection chamber covers and rod and purge system annually. **Outstanding.**

Maintain the trees generally with regular pruning as advised by qualified tree surgeon and arrange tree survey on a 5 yearly basis by qualified tree surgeon. **Outstanding.**

Test Emergency Lighting System regularly and keep a copy of the test certificate with the Log Book. **Completed.**

4.0 BRIEF DESCRIPTION OF BUILDING

- 4.1 The building is situated within its graveyard at the junction of Windy Nook Road and Carr Hill Road. It reportedly dates from 1841-2 and was designed by Thomas Liddell. In 1888 the north aisle was added. Now it has a nave with entrance porch at the southwest end and an aisle to the north. The chancel has a former organ transept to its north, now converted to provide a kitchen. The vestry is north of the north aisle with WC and rear lobby adjacent. The disused boiler room is below this area.

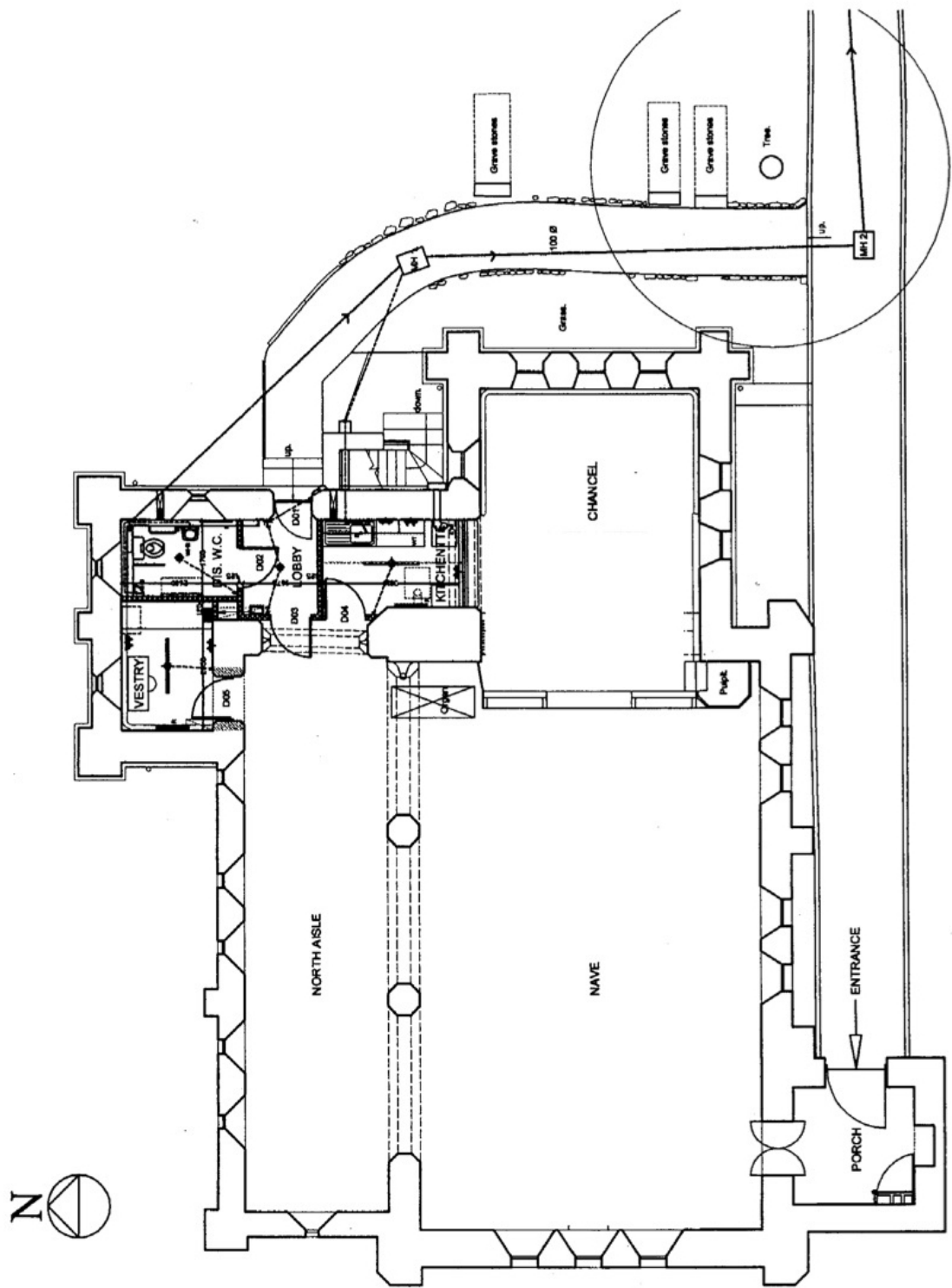
Construction is of squared coursed sandstone walling with finer jointed ashlar quoins and dressings, supporting a timber roof. The roof finish is Welsh slates with sandstone ridges. Floors are partly of solid construction with former pew banks and aisle floors in timber.

Internal features include a C19 font and reused pulpit panels. Recent reorderings in 2010 to designs by Michael Drage have seen oak flooring of the nave and carpeting of the chancel, removal of pews and installation of a projection screen.

Heating is provided by a modern (2004) gas boiler in the new kitchen, serving a pressurised system of pipework and radiators installed in 2010 when the old large cast iron pipes proved incapable of further repair.

The building is Grade II Listed and its curtilage walls and other features are also thereby protected.

5.0 PLAN OF CHURCH



6.0 LISTING GRADE

COPY OF LISTING DESCRIPTION (from English Heritage website)

NZ 26 SE FELLING WINDY NOOK ROAD (west side) 6/57 Windy Nook

26.4.48 Church of St. Alban Grade II

Parish church. 1841-2 by Thomas Liddell with additions 1888. Coursed squared sandstone, with ashlar dressings; plinth; roof of Welsh slate has flat stone gable coping. Nave with south porch; north aisle, 1888 north porch to chancel. South front: trefoil window in gable of porch, shouldered door in return in chamfered jambs; 2 pairs of lancet windows flanked by buttresses; lower chancel set back has 2 lancets. Strings at sills and at head of coped buttresses; clasping buttresses to nave and angle to chancel.

East front has 3 cusped lancets, quatrefoil over; sill string. North side has 5 lancets; central buttress. West front has 3 lancets with sill string, slit window in gable peak; bellcote corbelled out above. Cross finials.

Listing NGR: NZ2721160966

7.0 MAINTENANCE

Maintenance of the church lies with the PCC. The Churchyard is closed and maintained by the local authority.

8.0 LIMITATIONS OF THE REPORT

The inspection of the church was visual and made from ground level. Only selected areas were examined in detail. Parts of the structure which were inaccessible, enclosed or covered were not opened up and therefore I am unable to report that any such part of the building is free from defect. The inspection excluded testing of services and organ. The report is restricted to the general condition of the building and is a summary report only as it is required by the Inspection of Churches Measure. It is not a specification for the execution of the work and must not be used as such.

9.0 EXTERIOR

9.1 ROOF COVERINGS

Description

Roofs were re-slatted in 1992 with Welsh Slate and sandstone ridges. There are fibreglass-lined gutters between the nave and north aisle roofs, and to the stone eaves' gutters to the nave and chancel. Valleys are lead-lined. There is a mixture of lead, synthetic lead-free flashings over lead soakers and mortar flashings to the various gables.



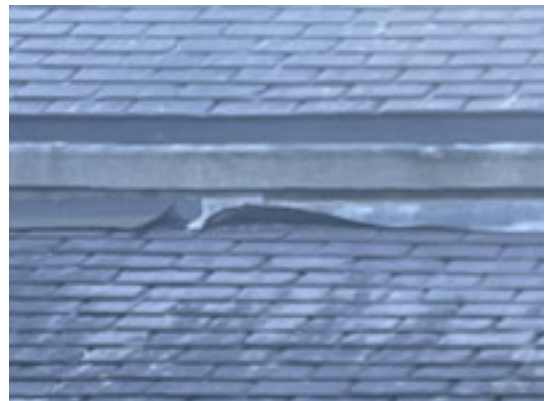
North Aisle and Nave Roofs



South Nave Roof



Broken Slates South Nave Roof



Lifted Flashings North Roof



Lifted Flashings North Roof



Porch East Roof



East Roof



Chancel South Roof Missing



Chancel North Roof

Condition

Several chipped slates, 3no to the south Nave Roof. Two sections of synthetic lead-free flashing have come loose from the nave roof north-west gable and need to be secured immediately. Ridge pointing is missing to the chancel and to the nave south roof and west roof.

Repair Needs, Category A, Urgent, requiring immediate attention

Replace all chipped slates, secure loose flashing and make good pointing to ridges. Cost Band 1–£0.00-£1,999.

Category B, Requires attention within the next twelve months

Undertake a full inspection of fibreglass-lined gutters by a reputable roofing company. Cost Band 1–£0.00-£1,999.

9.2 Rainwater Goods

Description

Rainwater goods are black-painted cast iron. Cast iron gutters to aisle and vestry roofs are fixed to timber rafters with conventional brackets. Several downpipes are cemented into slots in the plinth stonework. Rainwater pipes discharge over concrete slabs or paving away from the building and then to the grass beyond or to gullies.



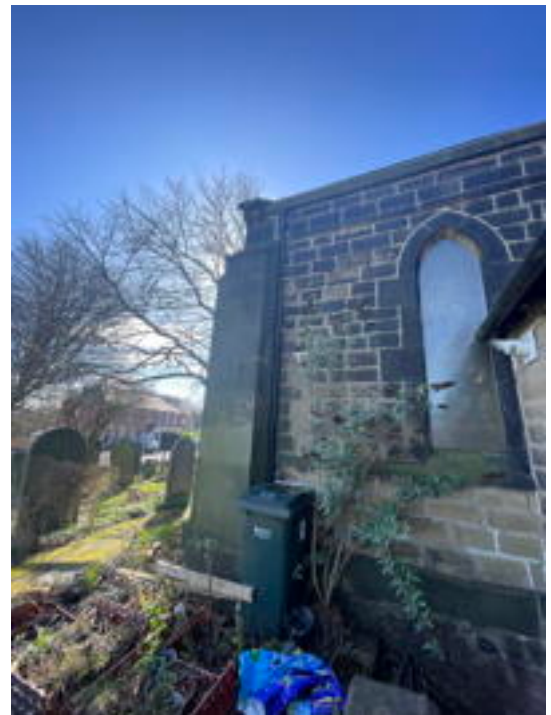
Porch Rainwater Pipe



Vestry West Rainwater Pipe



North Aisle West Rainwater Pipe



Chancel North Rainwater Pipe

Condition

It was not possible to tell if everything was fully watertight, as it was dry at the time of the inspection.

The rainwater goods all require redecoration. All fixings and joints should be checked over and refixed, caulked as necessary. Particular attention is required to decorating the backs of the pipes, which are easily missed.

Category B, Requires attention within the next twelve months

Redecorate rainwater goods. Cost Band 1–£0.00-£1,999.

Category E, a desirable improvement with no timescale

Where downpipes are cemented into slots in the plinth stonework, these should be observed for deterioration. Replacement in due course should incorporate a suitable offset to avoid this detail being replicated. Cost Band 2– £2,000.00-£9,999.

9.3 PARAPETS, FINIALS, BELLCOTE AND CHIMNEY

Description

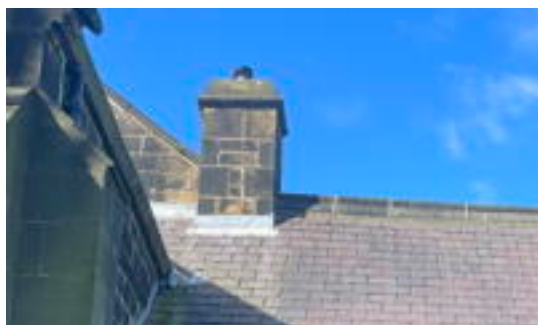
Stone parapet cappings with stone kneelers at west and east ends with Stone Finial Crosses. Stone parapet cappings with stone kneelers to the Porch, and North Transept gables. Tall gabled stone Bellcote to the west end. Stone chimney over the North Transept.



West End Bellcote



Loose Parapet Flashing Nave West End South Elevation



North Transept Chimney



East Finial

Condition

Finials, Bellcote and Chimney all appear generally sound and in good condition when viewed from ground level. Loose flashing to nave west end south elevation parapet.

Repair Needs, Category A, Urgent, requiring immediate attention

Secure loose flashing. Cost Band 1–£0.00-£1,999.

Category B, Requires attention within the next twelve months

Check pointing to gables by a reputable roofing company.

9.4 WALLING AND POINTING

Description

Walling is mainly of coursed squared sandstone with textured faces. Window and door trims, cills, buttresses etc are in smooth, finer jointed ashlar masonry. The building has been blackened by pollution, but this appears to be weathering off now that air quality has improved. Cleaning can cause damage and should probably not be attempted.



West Elevation



North Aisle West End Pointing



Vestry West Elevation Pointing



Chancel South Elevation Pointing

Condition

Overall condition remains good with considerable lime mortar pointing carried out in the last 10 years.

Some structural movement caused by roof spread is evident in the nave and chancel walls, but does not appear to be ongoing. A crack to the LHS of the vestry door has been repointed.

West end of aisle: a crack at the outer corner has been repointed. Here is one eroded window quoin to the North Aisle.

Main west gable: One eroded stone at high level. Porch stonework: cracks around the doorway and on the rear west wall have been pointed. Nave south: distortion caused by the roof spread on this elevation. Chancel south: distortion caused by roof spread on this elevation.

Ground level margin between the entrance path and the nave south wall is high here, causing subfloor vents to act as sumps. The margin would be better reduced and gravel-filled. This should be regarded as a fairly urgent item to avoid dampness affecting the floor joists.

Similarly, along the porch south and west elevations, where planting tubs sit directly on the church walls and are causing damage to the porch internally.

I realise that there may be opposition to this as the planting against the church walls is very popular. However, it should still be possible to sort out levels and reinstate planting in front of the gravel border so preserving both the planting and the building.

Repair needs, Category B, Requires attention within the next twelve months

Excavate a trench 300mm wide and to 450mm below the existing ground level to the south nave wall. Line sides and bottom of trench with Recycled Polyester Geotextile material. Backfill trench with gravel between 20mm and 50mm diameter to within 100mm of the surface and cover with a further layer of Recycled Polyester Geotextile material. Backfill to surface with a final 100mm gravel layer. Remove planting tubs from direct contact with the porch wall, maintaining a 300mm wide border between planting tubs and wall. Repoint open joints in stonework with lime mortar. Cost Band 1–£0.00-£1,999.

Repair needs, Category M, Routine Maintenance

Monitor stonework deterioration. Cost Band 1–£0.00-£1,999.

9.5 WINDOWS AND EXTERNAL DOORS

Description

Most windows are single lancets, direct-glazed into the stonework. Plain leaded glass unless noted otherwise below. All now polycarbonate protected, some of which is yellowing. Some require monitoring as noted below (numbered anticlockwise from the main door).



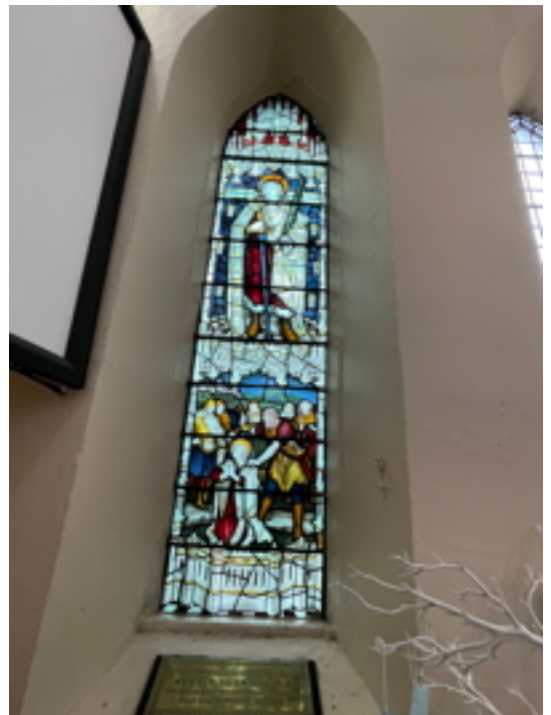
Window 1 Leaded, plain glass, good condition



Window 2 Stained glass dated 1901, satisfactory condition



Window 3 Leaded, plain glass, good condition



Window 4 Stained glass window by Kempe. Memorial dated 1898 depicting St Alban. The most significant window in the church.



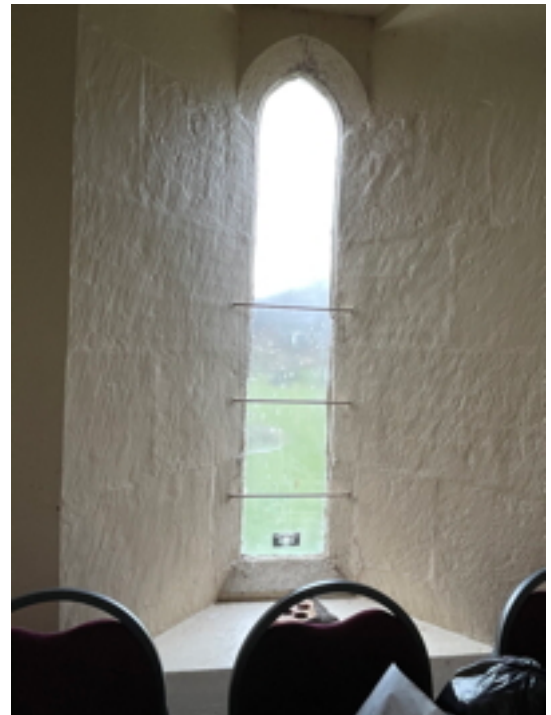
Window 17 North Aisle, single lancet, plain.



Window 18 North Aisle, single lancet, plain.



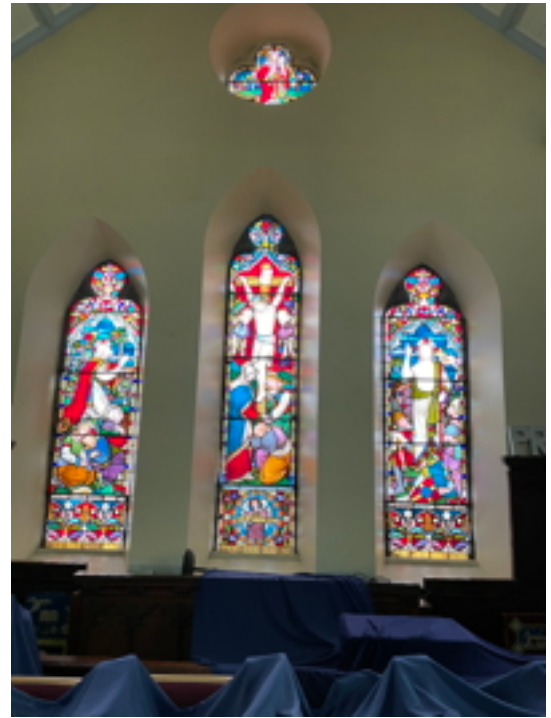
Window 19 North Aisle, stained memorial glass dated 1990



Window 20 North Aisle, west wall temporarily glazed in polycarbonate



Windows 5 and 6 Stained glass, signed by Baguley 1891. Good quality windows in reasonable condition



Windows 7, 8, 9 and 10. W7-9 Three stained glass lancets. W10 Quatrefoil window above. Stained glass is possibly reused as the fit to stonework openings is poor. Saddle bars are rusting. Some distortion.



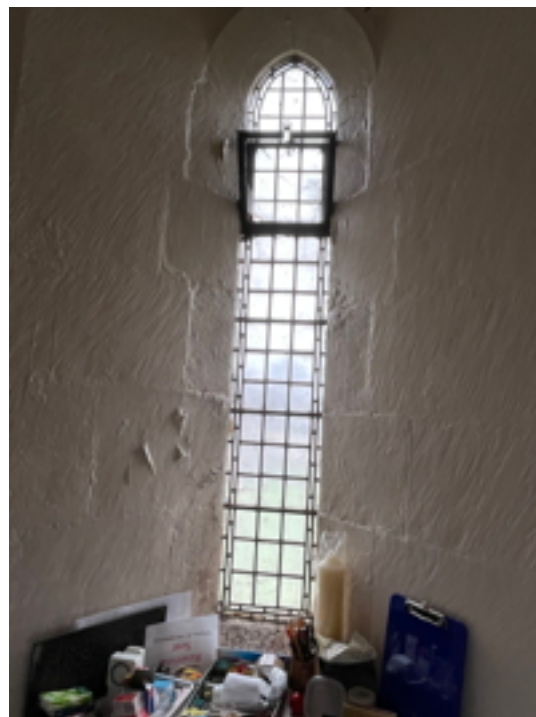
Window 11 Chancel north, stained glass, similar to Windows 9 and 10



Window 12 WC East, single lancet, plain.



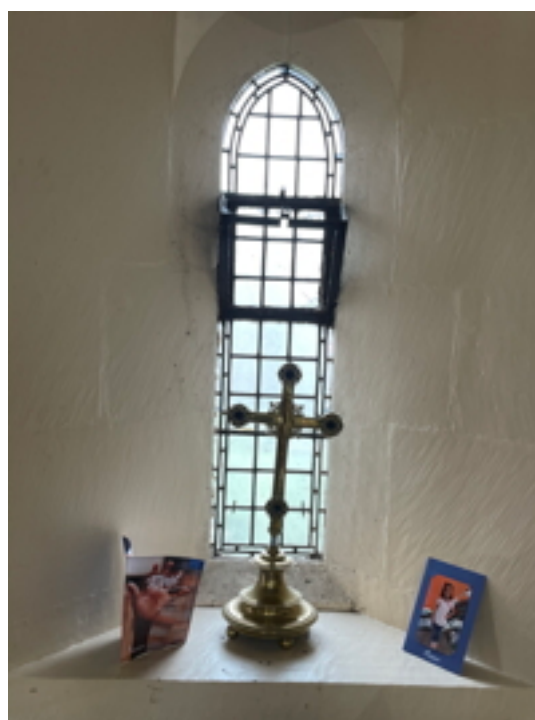
Window 13 WC North, single lancet, plain.



Window 14 Vestry, single lancet, plain.



Window 15 North Aisle, temporary polycarbonate-glazed with applied lead tape.



Window 16 North Aisle, single lancet, plain.



**Window 21, 22 and 23 West Nave,
three single stained glass lancets**



**Window 24 South Porch, trefoil
window infilled with plywood**

Condition

Most generally satisfactory.

Windows 7 to 10 saddle bars are rusting. Some distortion, repairs may be required soon.

W16 has two cracked quarries.

The Vestry Lobby door and the Boiler House door require decoration.

Window 20 should ideally be replaced

Window 24 should ideally be reglazed to give light into the Porch.

Porch door showing considerable signs of rot.

Repair needs, Category B, Requires attention within the next twelve months

Replace all rotten sections of timber to the porch door and redecorate. Cost Band 1–£0.00-£1,999.

Decorate Vestry Lobby and Boiler House doors and monitor windows 7 to 10. Cost Band 1–£0.00-£1,999.

Category E, a desirable improvement with no timescale

Replace cracked quarries and replace 2no windows. Cost Band 2– £2,000.00-£9,999.

9.6 BELOW GROUND DRAINAGE

Some rainwater pipes discharge over concrete slabs or paving away from the building and then to the grass beyond. Others discharge over gullies and probably run to soakaways. There is foul water drainage with inspection chambers along the north-eastern corner pathway from the WC and then down the entrance pathway with a final inspection chamber by the entrance gates.



Overgrown Run-Off



Overgrown Run-Off



Overgrown Run-Off



Missing Gully

Condition

Some run-offs obstructed and overgrown. One gully is missing.

Repair Needs, Category A, Urgent, requiring immediate attention

Remove obstructions and clear overgrowth to run-offs to let water drain to grassed areas and replace missing gully Cost Band 1-£0.00-£1,999.

Repair Needs, Category M, Routine Maintenance

Lift all inspection chamber covers, rod and purge system annually. Cost Band 1-£0.00-£1,999.

10.0 INTERIOR

10.1 BELL

There is a single bell with part rope, part wire bell pull at the nave west end.



Condition

The churchwarden reported that all was in working order.

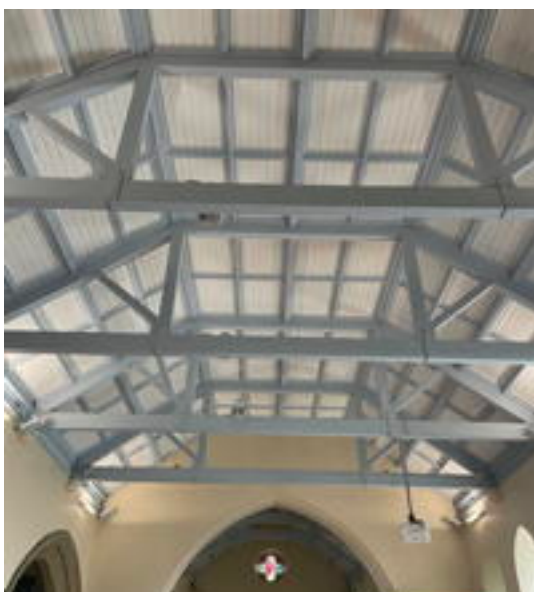
Repair Needs, Category M, Routine Maintenance

Agree a maintenance schedule based on usage with a bell maintenance company. Cost Band 1-£0.00-£1,999.

10.2 ROOF

Description

Ceilings are painted timber boarding framed with exposed rafters and purlins and supported to the Nave and Chancel by the painted exposed roof trusses.



Nave Roof



North Aisle Roof



Chancel Roof



Minor Staining to Chancel Roof

Condition

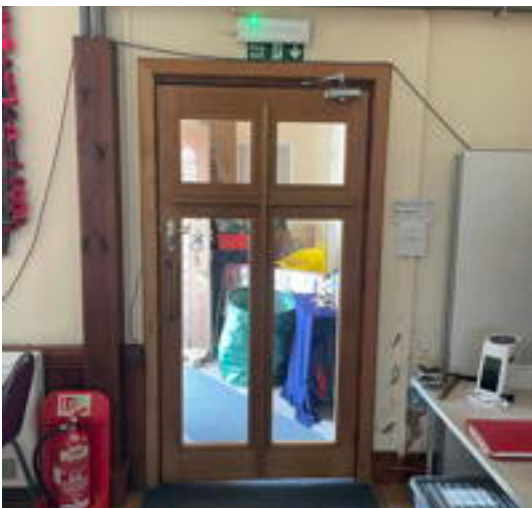
All appear in good condition. The minor staining on the chancel roof west end has not changed since the last quinquennial.

10.3 Panelling and Doors

Description

The inner door, plain glazed and oak-framed, to the Porch. Stain softwood framed, ledged and braced doors to the Kitchen and the East Lobby. Stained softwood framed, ledged and braced door to Vestry with strap hinges. Stained flush plywood door to WC.

Carved timber panelling to the Chancel. Low-level stained timber dado panelling to the North Aisle north wall and the Nave south wall.



Porch Door



Lobby and Kitchen Doors



Vestry Door



North Aisle Panelling



Chancel Panelling



Nave Panelling

Condition

Doors and screens are all generally in satisfactory condition. Bottoms of the vestry, kitchen and lobby doors are chipped and require redecoration.

Repair needs, Category B, Requires attention within the next twelve months

Redecorate the vestry, kitchen and lobby doors. Cost Band 1-£0.00-£1,999.

10.4 FLOORS

Description

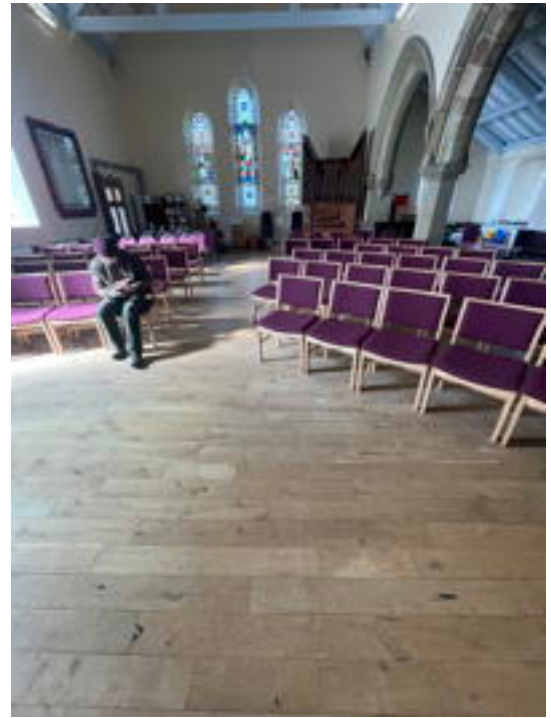
The Chancel floor is carpeted over boards and joists. Nave and aisle floors are a mixture of solid (former aisles) and timber (former pew banks), now all overlaid in oak flooring. Some carpeting to the North Aisle west end.

Condition

All are in generally satisfactory condition.



Chancel Carpeting



Nave Oak Flooring



North Aisle Oak Flooring



North Aisle Carpeting

10.5 INTERNAL WALL FINISHES

Description

Painted Plaster

Conditionn

All is generally in satisfactory condition. Peeling paint to RHS of door to the Entrance Lobby. Cracking at high level to north aisle, east end. Some minor cracking at eaves level



Peeling Paint at Porch Door



Cracking North Aisle East End



Cracking at Eaves

Category B, Requires attention within the next twelve months

Locally brush down and decorate peeling sections of paintwork, and treat mouldy sections with an appropriate fungicidal solution and redecorate. Cost Band 1-£0.00-£1,999.

Repair Needs, Category M, Routine Maintenance

Monitor cracking for signs of further movement. Cost Band 1-£0.00-£1,999.

10.6 MEMORIALS

Description

Memorials include WW1 board on the south wall, WW2 brass plaques on the pillar of arcade, memorial tablets on each side of chancel arch. Stone plaque to Revd Edward Adamson, died 1898. Window 4 is dedicated to Revd E.H.Adamson. Window 22 to Anne Adamson, wife of Revd Edward Adamson. Brass memorial plaques in the chancel.



1914-1918 Memorial



1914-1918 Memorial



Revd Edward Adamson



Anne Adamson



Revd E.H. Adamson



Chancel Brass Plaque Memorials



Chancel Brass Plaque Memorials



Chancel Brass Plaque Memorials

Condition

All memorials are in good condition and well cared for.

10.7 SOUTH ENTRANCE PORCH

Description

Plastered walls and painted boarded ceiling. The porch floor is stone-paved.

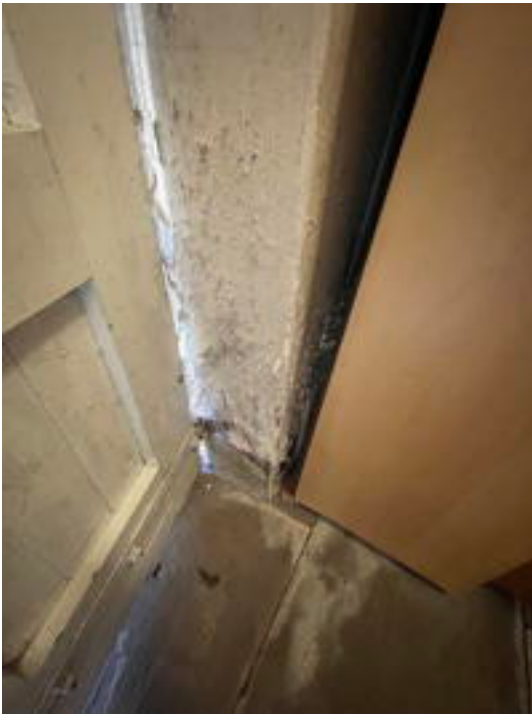
Condition

Decoration deteriorating further and was poor at last quinquennial a. Efflorescence at low level on walls and mould around the door. Numerous stored materials could compromise the emergency escape route. The porch floor requires some pointing of joints.

Category B, Requires attention within the next twelve months

Remove pots from walls externally as above. Locally brush down and decorate peeling sections of paintwork, and treat mouldy sections with an appropriate fungicidal solution and redecorate. A better solution would be to remove gloss paint and apply a new clay paint finish. Cost Band 1–£0.00-£1,999.

Consider alternative storage for stored material. Cost Band 1–£0.00-£1,999.



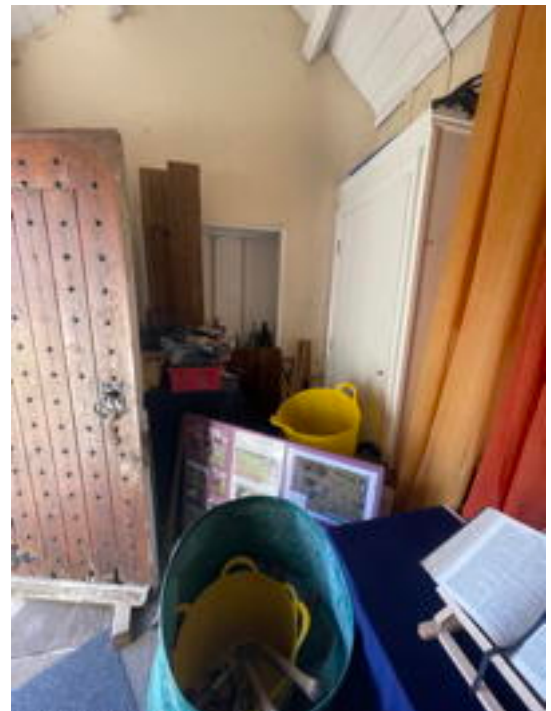
Deteriorating Paintwork Door RHS



Deteriorating Paintwork Door Head



Deteriorating Paintwork South Wall



Stored Materials

Repair Needs, Category D, Requires attention within the next 5 years

Point porch floor joints. Cost Band 1-£0.00-£1,999.

10.8 EAST END LOBBY

Description

Plastered ceiling, plastered walls and vinyl flooring, renovated 2004. Hatch to roof void not inspected.



East End Lobby Looking East



East End Lobby Looking East

Condition

The East End Lobby is generally in satisfactory condition. Edge seals to the flooring should be replaced to avoid washing water ingress.

Category B, Requires attention within the next twelve months

Replace edge seals to vinyl flooring in East End Lobby with Dow 785+ clear silicone sealant. Cost Band 1-£0.00-£1,999.

10.9 KITCHEN

Description

Plastered ceiling, plastered walls and vinyl flooring, renovated 2004, with modern Kitchen units.

Condition

The Kitchen is all in satisfactory condition but needs decoration. Edge seals to the flooring should be replaced to avoid washing water ingress.



Kitchen Looking South East



Kitchen Looking North

Category B, Requires attention within the next twelve months

Replace edge seals to vinyl flooring in the Kitchen with Dow 785+ clear silicone sealant. Cost Band 1-£0.00-£1,999.

Category B, Requires attention within the next twelve months

Decorate the kitchen walls and ceiling. Cost Band 1-£0.00-£1,999.

10.10 ACCESSIBLE WC

Description

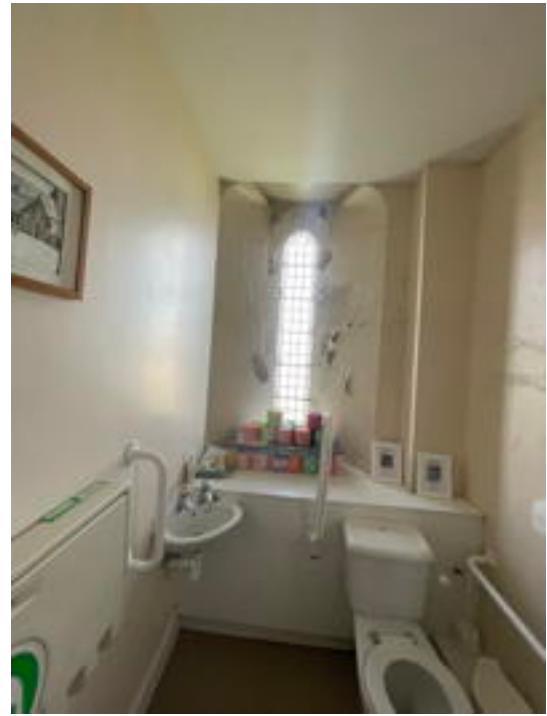
Plastered ceiling, plastered walls and vinyl flooring, renovated 2004. Includes Baby Change Unit.

Condition

The Ground Floor Accessible WC in generally satisfactory condition but needs decoration. Edge seals to flooring should be replaced to avoid washing water ingress. There is no emergency assistance alarm system.



Accessible WC Looking North



Accessible WC Looking North

Category B, Requires attention within the next twelve months

Replace edge seals to vinyl flooring in WC with Dow 785+ clear silicone sealant. Cost Band 1–£0.00-£1,999.

Fit emergency assistance alarm system in accordance with Approved Document M, section 5.4 item h, page 48, https://assets.publishing.service.gov.uk/media/66f6c5eec71e42688b65ee11/ADM_V2_with_2024_amendments.pdf. Cost Band 1–£0.00-£1,999.

Decorate the WC walls and ceiling. Cost Band 1–£0.00-£1,999.

10.11 VESTRY

Description

Plastered ceiling, plastered walls and carpeted floor, renovated 2004.

Condition

The Vestry is in generally satisfactory condition but needs decoration.

Repair Needs, Category D, Requires attention within the next 5 years

Decorate Vestry walls and ceiling. Cost Band 1–£0.00-£1,999.



Vestry Looking North



Vestry Looking East

10.12 BOILER ROOM

Description

Below the kitchen, now disused, but contains pipework and a pressure vessel for the new heating circuitry. Stone walls and a black painted concrete ceiling. Approached from the external steps.



Boiler Room



Boiler Room

Condition

The steps are dangerous and attractive to children. Fencing off with a secure access gate and fitting a handrail to the staircase could be considered.

Repair Needs, Category D, Requires attention within the next 5 years

Consider fitting metal railings and a secure gate around the staircase to the Boiler Room and a handrail to the staircase to the boiler room. Cost Band 1—£0.00-£1,999.

10.13 FIXTURES, FITTINGS, FURNITURE AND MOVEABLE ARTICLES

Description

New communion table, lectern and font lid designed and made by Treske Ltd.

New loose seating (ash, upholstered)

Pine pulpit panels reused as sound desk, Communion rails (old, unused)

Kneeling desk and oak chair

Fixed seat in chancel and various chairs to the chancel

Two pews against the north aisle wall



Lecturn and Communion Table



Font



Repurposed Pulpit



Upholstered Seating



North Aisle Pews



Chancel Furniture

Condition

All are in satisfactory condition.

10.14 ORGAN

Description

The organ is situated to the north west end of the nave. It is a single manual organ by Flentrop, Zaandam, Holland. Restored Flentrop instrument imported 1973 from Lelystad (originally built 1956 for the west gallery at Opstandingskerk (Resurrection Church) Amsterdam, aka the Kolenkit Church), bought and transferred to St Alban's, Windynook

There was no Organ Tuners Book visible. Further details at <https://www.npor.org.uk/NPORView.html?RI=H00980>.



Organ

Condition

Believed to be in working order.

Category B, Requires attention within the next twelve months

Supply Organ Tuner's Book if none already available.
Cost Band 1-£0.00-£1,999

11.0 CHURCH ENVIRONS

11.1 BOUNDARY WALLS, FENCES AND GATES

Description

Boundary walls are mainly of stone and act as retaining walls to the roadways on the east and northern boundaries. The eastern boundary wall has an entrance of twin stone pillars and double black painted metal gates. There is some metal palisade fencing along the western boundary. There is some timber fencing above the stone wall to the southern boundary.



East Wall



South East Corner



East Gates



Palisade Fencing

Condition

The stonework walls are in many areas suffering from hard cement pointing and little or no pointing. The churchwarden confirmed that upkeep of the boundary walls is the responsibility of the local authority. Timber and metal palisade fencing is satisfactory but unsightly. The gates require decoration.

Category B, Requires attention within the next twelve months

Arrange boundary wall repairs and redecoration of gates with the local authority. Cost Band 1–£0.00–£1,999

11.2 NOTICEBOARDS

Description

To the left-hand side of the entrance gates on the eastern boundary.

Condition

The Noticeboard is in satisfactory condition.



Noticeboard

11.3 PATHS AND LANDSCAPING

Description

The access to the site from the east is a tarmaced pathway leading directly to the Porch entrance doorway and gives level access from the pavement to the church.

A second tarmac pathway around the east and north-east elevation leads to the East Lobby door.

The areas around the church are mostly grass with a few grave stones and a scattering of trees and shrubs. To the southern boundary, the land slopes steeply upward to the stone boundary wall with some shrub planting. The churchyard is closed and maintained by the local authority.



Path to East Porch Door



Path to Lobby Door



Churchyard



Churchyard

Condition

All is generally in satisfactory condition and well-maintained. The planting throughout the site is expertly done and really adds to the location of the church. The north-eastern corner pathway has a lot of moss, making it slippery, which should be cleared.

Repair Needs, Category A, Urgent, requiring immediate attention

Clear moss from the north-eastern pathway. Cost Band 1–£0.00-£1,999

11.4 TREES

Description

There are several trees on the site which are maintained by the local authority. There are two large trees near the south east corner and southwest corners of the church. It is not known if any of the trees are the subject of Tree Preservation Orders. There is a large buddleia growing at the north east corner of the chancel and various other small seedlings (ash?) growing in the beds around the church.



Trees



Trees



Trees



Buddleia

Condition

The trees generally all appear to be in satisfactory condition. However, the buddleia and other seedlings should be fully removed before they cause damage to the church structure. The trees should all be inspected by a qualified tree surgeon every five years and pruned in accordance with their recommendations.

Repair Needs, Category A, Urgent, requiring immediate attention

Remove buddleia and other seedlings. Cost Band 1–£0.00-£1,999.

Repair Needs, Category M, Routine Maintenance

Maintain the trees generally with regular pruning by the local authority. Cost Band 1–£0.00-£1,999.

11.5 VIEWS AND CARVED TIMBER CROSS

There is a view from the north east corner of the site down towards the offshore oil and gas manufacturing businesses on the north bank of the River Tyne.

There is a modern carved timber cross that sits on the north-east corner of the site.



Carved Timber Cross

Condition

The cross appears in satisfactory condition.



View to the North Bank of the River Tyne

12.0 SERVICE INSTALLATIONS AND OTHER MATTERS

12.1 HEATING

Description

The main church heating comprises an Ideal Imax 45kW combination boiler in the Kitchen, serving two heating circuits and with a flue through the Kitchen east wall. There was no record available as to when the boiler was last serviced. The gas meter is in a cabinet on the right-hand side of the site entrance gateway.

The boiler feeds a series of radiators generally around the perimeter of the building. There are Drayton room thermostats in the North Aisle and Chancel.



Boiler in Kitchen



Typical Radiator

Condition

All appears to be in working order, but the Log Book shows the boiler was last serviced on 2 July 2021.

Repair Needs, Category A, Urgent, requiring immediate attention

The boiler must be tested every 12 months, and a copy of the test certificate must be kept with the Log Book. Cost Band 1-£0.00-£1,999.

Repair needs, Category C, Requires attention within the next 12 to 24 Months

Carry out a full review of the heating system so that, in the event of failure, a replacement plan is fully in place. Cost Band 1-£0.00-£1,999.

12.2 ELECTRICAL INSTALLATION

Description

The electrical supply comes into the Entrance Porch corner cupboard with 2 meters. There are distribution boards with RCCB protection adjacent to the meters and further distribution boards in the Vestry.

Wiring is generally surface fixed in plastic trucking.

In the church, there are wall-mounted spotlights. There are fluorescent lights in other areas.



Entrance Porch Meters and DB Boards



Typical Church Light Fitting

Condition

On the DB boards, the date of the last inspection is stated as 29 October 2015, the same as the last quinquennial, and there is no record in the Log Book of an electrical test being undertaken since then, and it is therefore well overdue.

Repair Needs, Category A, Urgent, requiring immediate attention

The electrical system must be tested immediately and then every five years, and a copy of the test certificate must be kept with the Log Book. Cost Band 1-£0.00-£1,999.

12.3 INSULATION AND AIR LEAKAGE

Description

It is not apparent that there is any insulation to the building. The entrance Porch provides a draft lobby.

The building does not appear unduly drafty.

Repair Needs, Category E, a desirable improvement with no timescale

Consider whether insulation could be provided and/or upgraded.

12.4 WATER SUPPLY

Description

The incoming mains supply is believed to be the tap in the WC.

Condition

All appears to be in working order.

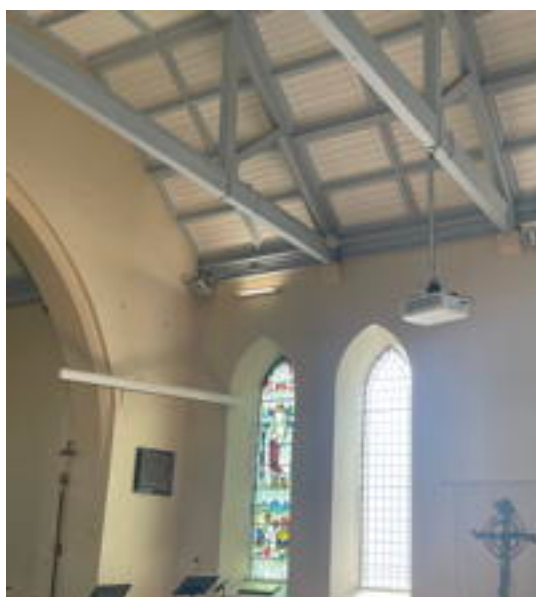


**Assumed Incoming Water Mains
Isolation Tap in WC**

12.5 SOUND SYSTEM AND HEARING LOOP AND VISUAL DISPLAY

There is a Sound System in the church with moveable lectern microphones, facilities for radio microphones, a Hearing Loop and a mixer desk with 2 wall-mounted speakers on either side of the entrance to the chancel.

There is a visual display system with a projector and screen and on the wall of the nave, south east corner. There is also a large monitor on the North Aisle east end.



Screen



System Controls

Condition

All appears to be in working order.

12.6 FIRE PROTECTION

Description

Fire protection is provided by fire extinguishers, which appear to be serviced annually by inspection of the extinguishers, most recently in October 2025 by Nortec Fire. Emergency Lighting is provided and was confirmed verbally as being recently serviced, although the Log Book had a date of 13 June 2024 and so must be updated to reflect the event.

A secondary means of escape is provided through the east lobby to the outside.

Condition

All appears to be in working order.

The external means of escape door and the door to the lobby through which the escape door is accessed are both fitted with locks that can only be opened with a key.

Category B, Requires attention within the next twelve months

Amend locks to East Lobby door from north aisle and to external door to have a thumb turn on the inside eg https://www.smartchoicesecurity.co.uk/products/era-333-fortress-bs-euro-key-turn-deadlock-with-cylinder?code=L25486&campaignid=12613741386&cq_src=google_ads&cq_cmp=12613741386&cq_con=125630248251&cq_term=&cq_med=&cq_plac=&cq_net=u&cq_pos=&cq_plt=gp&gclid=EAiaIQobChMI_c6HwsOA8AIVzeF3Ch3e1Q6IEAYYBiABEgLHhfD_BwE Cost Band 1–£0.00-£1,999

Repair Needs, Category M, Routine Maintenance

Test the Emergency Lighting System and fire extinguishers regularly and keep a copy of the test certificate with the Log Book. Cost Band 1–£0.00-£1,999

12.7 LIGHTNING CONDUCTOR

There is no lightning conductor.

Category E, a desirable improvement with no timescale

Consider fitting a lightning conductor. Cost Band 1–£0.00-£1,999

12.8 SECURITY

The locks to the church all appear satisfactory from a security point of view. There is, however, the means of escape issue above. Safe in Vestry.

Condition

All appears to be satisfactory.

12.9 ACCESS AND USE BY PEOPLE WITH DISABILITIES

Description

Permanent level access is provided to the building through the entrance porch. There are two steps up to the sanctuary and no handrail.

There is a wheelchair accessible WC. There is a hearing loop system. The internal decor of the building generally provides reasonably contrasting colours, which is helpful for the visually impaired. The artificial lighting is satisfactory so that those who are visually impaired should not experience too much difficulty in this area. Large print copies of service sheets and hymn books where used should be provided for the visually impaired.

Category E, a desirable improvement with no timescale

Consider fitting a handrail to the chancel steps. Cost Band 1–£0.00-£1,999

13.0 SUMMARY OF REPAIRS

Repair Needs, Category A, Urgent, requiring immediate attention

Replace all chipped slates, secure loose flashing and make good pointing to ridges. Cost Band 1–£0.00-£1,999.

Secure loose flashing. Cost Band 1–£0.00-£1,999.

Remove obstructions and clear overgrowth to run-offs to let water drain to grassed areas and replace missing gully Cost Band 1–£0.00-£1,999.

Clear moss from the north-eastern pathway. Cost Band 1–£0.00-£1,999

Remove buddleia and other seedlings. Cost Band 1–£0.00-£1,999.

The boiler must be tested every 12 months, and a copy of the test certificate must be kept with the Log Book. Cost Band 1–£0.00-£1,999.

The electrical system must be tested immediately and then every five years, and a copy of the test certificate must be kept with the Log Book. Cost Band 1–£0.00-£1,999.

Category B, Requires attention within the next twelve months

Undertake a full inspection of fibreglass-lined gutters by a reputable roofing company. Cost Band 1–£0.00-£1,999.

Redecorate rainwater goods. Cost Band 1–£0.00-£1,999.

Check pointing to gables by a reputable roofing company.

Excavate a trench 300mm wide and to 450mm below the existing ground level to the south nave wall. Line sides and bottom of trench with Recycled Polyester Geotextile material. Backfill trench with gravel between 20mm and 50mm diameter to within 100mm of the surface and cover with a further layer of Recycled Polyester Geotextile material. Backfill to surface with a final 100mm gravel layer. Remove planting tubs from direct contact with the porch wall, maintaining a 300mm wide border between planting tubs and wall. Repoint open joints in stonework with lime mortar. Cost Band 1–£0.00-£1,999.

Replace all rotten sections of timber to the porch door and redecorate. Cost Band 1–£0.00-£1,999.

Decorate Vestry Lobby and Boiler House doors and monitor windows 7 to 10. Cost Band 1–£0.00-£1,999.

Redecorate the vestry, kitchen and lobby doors. Cost Band 1–£0.00-£1,999.

Locally brush down and decorate peeling sections of paintwork, and treat mouldy sections with an appropriate fungicidal solution and redecorate. Cost Band 1–£0.00-£1,999.

Remove pots from walls externally as above. Locally brush down and decorate peeling sections of paintwork, and treat mouldy sections with an appropriate fungicidal solution and redecorate. A better solution would be to remove gloss paint and apply a new clay paint finish. Cost Band 1–£0.00-£1,999.

Consider alternative storage for stored material. Cost Band 1–£0.00-£1,999.

Replace edge seals to vinyl flooring in East End Lobby with Dow 785+ clear silicone sealant. Cost Band 1–£0.00-£1,999.

Replace edge seals to vinyl flooring in the Kitchen with Dow 785+ clear silicone sealant. Cost Band 1–£0.00-£1,999.

Replace edge seals to vinyl flooring in WC with Dow 785+ clear silicone sealant. Cost Band 1–£0.00-£1,999.

Fit emergency assistance alarm system in accordance with Approved Document M, section 5.4 item h, page 48, https://assets.publishing.service.gov.uk/media/66f6c5eec71e42688b65ee11/ADM_V2_with_2024_amendments.pdf. Cost Band 1–£0.00-£1,999.

Decorate the WC walls and ceiling. Cost Band 1–£0.00-£1,999.

Supply Organ Tuner's Book if none already available. Cost Band 1–£0.00-£1,999.

Arrange boundary wall repairs and redecoration of gates with the local authority. Cost Band 1–£0.00-£1,999.

Amend locks to East Lobby door from north aisle and to external door to have a thumb turn on the inside eg https://www.smartchoicsecurity.co.uk/products/era-333-fortress-bs-euro-key-turn-deadlock-with-cylinder?code=L25486&campaignid=12613741386&cq_src=google_ads&cq_cmp=12613741386&cq_con=125630248251&cq_term=&cq_med=&cq_plac=&cq_net=u&cq_pos=&cq_plt=gp&gclid=EA1aIQobChMI_c6HwsOA8AIVzeF3Ch3e1Q6IEAYYBiABEGLHhFD_BwE Cost Band 1–£0.00-£1,999

Repair needs, Category C, Requires attention within the next 12 to 24 Months

Carry out a full review of the heating system so that, in the event of failure, a replacement plan is fully in place. Cost Band 1–£0.00-£1,999.

Repair Needs, Category D, Requires attention within the next 5 years

Point porch floor joints. Cost Band 1–£0.00-£1,999.

Decorate Vestry walls and ceiling. Cost Band 1–£0.00-£1,999.

Consider fitting metal railings and a secure gate around the staircase to the Boiler Room and a handrail to the staircase to the boiler room. Cost Band 1–£0.00-£1,999.

Category E, a desirable improvement with no timescale

Where downpipes are cemented into slots in the plinth stonework, these should be observed for deterioration. Replacement in due course should incorporate a suitable offset to avoid this detail being replicated. Cost Band 2– £2,000.00-£9,999.

Replace cracked quarries and replace 2no windows. Cost Band 2– £2,000.00-£9,999.

Consider fitting a lightning conductor. Cost Band 1–£0.00-£1,999

Consider fitting a handrail to the chancel steps. Cost Band 1–£0.00-£1,999.

Repair Needs, Category M, Routine Maintenance

Monitor stonework deterioration. Cost Band 1–£0.00-£1,999.

Lift all inspection chamber covers, rod and purge system annually. Cost Band 1–£0.00-£1,999.

Agree a maintenance schedule based on usage with a bell maintenance company. Cost Band 1–£0.00-£1,999.

Monitor cracking for signs of further movement. Cost Band 1–£0.00-£1,999.

Maintain the trees generally with regular pruning by the local authority. Cost Band 1–£0.00-£1,999.

Test the Emergency Lighting System and fire extinguishers regularly and keep a copy of the test certificate with the Log Book. Cost Band 1–£0.00-£1,999.

14.0 ROUTINE MAINTENANCE PLAN

General maintenance should be carried out on a seasonal basis, following the list below. Further advice is available in *SPAB Faith in Maintenance Calendar* at <https://www.spab.org.uk/sites/default/files/SPAB-FiM-maintenance-calendar.pdf>.

14.1 RAINWATER GOODS AND DRAINS

Gutters and Downpipes

Clear away leaves and debris regularly.
Consider fitting bird/leaf guards.

Gullies

Clean gullies regularly and remove any silt and debris.
Clear any blockages using drain rods.
Empty any silt traps every three months.

Soakaways

Check for silting or contamination every few months or so.
Remove any silt deposits when the soakaway chamber is empty.

14.2 ROOFS

Natural Slate

Record the location of slipped slates and tiles before having them replaced.

Ridges

Use mastic or repair tapes as an emergency measure until a proper repair can be carried out.
Consider having heating tapes fitted in inaccessible gutters.

Roof Valleys and Parapet Gutters

Clear debris from roof valleys and parapet gutters at least twice a year.
Clear away snow from parapets and valley gutters in the winter.

Flashings

Remove leaves and other debris that have become trapped underneath duckboards.

Bellcote

Consider commissioning a steeplejack to inspect the bell tower once every five years.

14.3 WALLS

Structural Issues

Note down the position of any existing cracks, bulges or other such defects in your logbook. Take advice from your architect or surveyor about whether monitoring is required.
Report significant changes in any cracks to your architect or surveyor.

Masonry

Clean gullies regularly and remove any silt and debris.
Clear any blockages using drain rods.
Empty any silt traps every three months.

Timber

Ensure that the integrity of paint finishes is maintained by repainting external timberwork every few years.

Plants

Clear away plant growth from around the building.
Consider removing ivy and other climbing plants.

Ground levels, Air Bricks and Ventilators

Clean air bricks or ventilators if necessary.
Consider fitting a fine mesh behind the ventilator to exclude rodents and insects.

14.4 DOORS AND WINDOWS**Doors**

Lubricate door ironmongery.
Check the security of any locks.

Timber Windows

Ensure that the integrity of paint finishes is maintained by repainting timber windows every few years.
Make sure that windows can be opened easily so that the building can be ventilated.
Lubricate window ironmongery.
Check the security of any locks.

Metal Windows

Ensure that the integrity of paint finishes is maintained by repainting metal windows every few years.
Make sure that windows can be opened easily so that the building can be ventilated.
Lubricate window ironmongery.
Check the security of any locks.

Leaded Windows

Make sure that windows can be opened easily so that the building can be ventilated.
Clear away any dirt from condensation drainage channels.

Ferramenta

Check for silting or contamination every few months or so.
Remove any silt deposits when the soakaway chamber is empty.

External Joinery

Ensure that the integrity of paint finishes is maintained by repainting external joinery every few years.

14.5 INSIDE THE BUILDING**Bells and Bell Frames**

Consider preparing and implementing a maintenance plan for the bell and bell frame.

Ceilings

Consider carrying out an inspection of the roof covering if you observe any new stains.

Internal Walls

Identify and address the cause of any dampness indicated by patches of staining or peeling paint. Open windows and doors on dry days during the summer months, to allow water vapour to escape.

Organs

Consider keeping a Tuner's Logbook.

14.6 SERVICES**Plumbing**

Fix dripping taps and leaks immediately to prevent moisture seeping into nearby timber or masonry and causing decay.

Electrical Systems

Commission an electrical inspection by a qualified person at least once every five years.

Heating Systems

Shut down the heating system once a year and have the boiler serviced.

Fire Safety

Test and clean smoke alarms regularly

Arrange for fire extinguishers to receive an annual maintenance check and service.

Consider having your lightning conductor system tested at least once every five years.

15.0 ADVICE TO THE PCC

- This is a summary report; it is not a specification for the execution of the work and must not be used as such.
- The professional adviser is willing to advise the PCC on implementing the recommendations and will, if so requested, prepare a specification, seek tenders and oversee the repairs.
- The PCC is advised to seek ongoing advice from the professional adviser on problems with the building.
- Contact should be made with the insurance company to ensure that the cover is adequate.
- The repairs recommended in the report will (with the exception of some minor maintenance items) be subject to the faculty jurisdiction. Guidance on whether any particular work is subject to faculty can be obtained from the DAC.
- **Fire Safety Advice** can be found at <https://www.ecclesiastical.com/risk-management/church-fire-articles/>.
- **Electrical Installation**
Any electrical installation should be tested at least once every five years, in accordance with the recommendations of the Church Buildings Council. Inspection and testing should be carried out in accordance with IEE Regulations, Guidance Note No. 3, with an inspection certificate obtained in every case. The certificate should be kept with the Church Log Book. For further details, please see <https://www.ecclesiastical.com/risk-management/church-electrical-wiring/>.
- **Heating Installation**
A proper examination and test should be made of the heating system by a qualified engineer each summer before the heating season begins, and the report kept with the Church Log Book.

- **Lightning Protection**
Any lightning conductor should be tested at least once every five years, in accordance with the current British Standard, by a competent engineer. A record of the test results and conditions should be kept with the Church Log Book.
- **Asbestos**
A suitable and sufficient assessment should be made as to whether asbestos is, or is liable to be, present in the premises. Further details on asbestos are available at <https://www.ecclesiastical.com/risk-management/asbestos/>. Such an assessment has not been covered by this report, and it is the duty of the PCC to ensure that this has been, or is carried out.
- **Equality Act 2010**
The PCC should ensure that they have understood their responsibilities under The Equality Act 2010. Further details and guidance are available at <https://churchgrowth.org.uk/wp-content/uploads/2020/09/Equality-act-making-buildings-fully-accessible-September-2020.pdf>
- **Health and Safety**
Overall responsibility for the health and safety of the church and churchyard lies with the incumbent and PCC. This report may identify areas of risk as part of the inspection, but this does not equate to a thorough and complete risk assessment by the PCC of the building and churchyard.
- **Bats and other protected species**
The PCC should be aware of its responsibilities where protected species are present in a church. Guidance can be found at <https://www.churchofengland.org/resources/churchcare/advice-and-guidance-church-buildings/bats-churches>.

Trees, Bells and Organs

The Church Building Council has prepared the following fact sheets:

Trees

<https://d3hgrlq6yacptf.cloudfront.net/5fbc2ba5a8086/content/pages/documents/eafeb641c40a88e3e20e70d2e2d254c9a6f6ac28.pdf>

Bells

<https://d3hgrlq6yacptf.cloudfront.net/5fbc2ba5a8086/content/pages/documents/5d956a7eef3eb6e41cfed5690363b0b16d63935e.pdf>

Organs

<https://d3hgrlq6yacptf.cloudfront.net/5fbc2ba5a8086/content/pages/documents/ab01e8a6f0f019e8282fcc2f09aa7b7ab16a9b23.pdf>

- **Sustainable Buildings**
A quinquennial inspection is a good opportunity for a PCC to reflect on the sustainability of their building and its use. This may include adapting the building to allow greater community use, considering how to increase resilience in the face of predicted changes to the climate, as well as increasing energy efficiency and considering other environmental issues. Further guidance is available at <https://www.churchofengland.org/about/church-england-environment-programme>.